

CITY OF SOMERSWORTH
Office of the City Manager

TO: Mayor Dana S. Hilliard and City Council Members

FROM: Robert M. Belmore, City Manager *RB*

DATE: Friday, September 28, 2018

SUBJECT: City Manager's Report for Monday, October 1, 2018
City Council Agenda

Lay on the Table (Under Section 13 of Agenda)

- A. Resolution No. 15-19: To Approve A Bond to Provide Funding to Renovate Maple Wood Elementary School by Making Security Upgrades and other Building Capital Improvements.** Again, Bond Counsel recommended additional changes in regards to the overall text and these changes have been incorporated into this Resolution that was amended at the last City Council meeting.

New Business (Under Section 15 of Agenda)

Resolutions

- A. Resolution No. 18-19: To Authorize the School Department to Utilize Funds from an Eversource Energy Efficiency Rebate to Contract with Ideal Temp HVAC of Freemont, NH to Replace an HVAC Unit at the Middle School.** Finance Committee Chairman, Councilor David Witham is sponsoring this Resolution 'by Request' as he anticipates further discussion of this item at an upcoming Committee meeting prior to the October 15th Council meeting.
- B. Resolution No. 19-19: To Accept Curran Way as a Public Way.** Public Works & Environment Committee Chairman, Councilor Dale Sprague is sponsoring this Resolution 'by Request' as he anticipates further discussion of this item at an upcoming Committee meeting prior to the full Council taking a vote. Attached is a copy of Public Works Director Mike Bobinsky memorandum that points out Staff's concerns regarding the road's present condition and the need for a bond from the present development's (Sophie Lane, LLC) managing member, Joseph Caldarola. Director Mike Bobinsky and Director Shanna Saunders have been working with Mr. Caldarola for the past nine (9) months in an attempt to finalize the required acceptance criteria.

Other

- A. Vote to Place the Proposed Charter Amendment question on the Ballot for a Special Municipal Election on November 6, 2018.** The State Agencies (Attorney General, Secretary of State and Department of Revenue Administration) have approved the proposed Charter Amendment as acceptable for City Council to consider moving it to ballot.
- B. Vote to Approve the Community Revitalization Tax Relief Incentive (79-E) Application from Somedowntown LLC, Property Located at 57-65 High Street (under City Ordinance Chapter 31).** The Economic Development Committee met on September 18th and voted to recommend acceptance of this application. Attached is a copy of the application from David Baker, Somedowntown LLC, as well as Director Saunder's memorandum determining the application is complete. I have also attached a sample covenant and the City Ordinance regarding this Tax Incentive Relief Program.

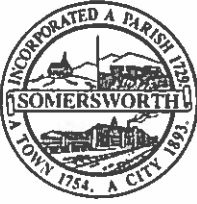
City Manager's Items (under section 11 of Agenda)

A. Informational Items.

- 1. City Website.** Staff will be putting the finishing touches on our new City website in anticipation of us launching it on next Monday, October 8. We will also have the added feature of new interactive tax maps. These maps, created by CAI Axis GIS, will allow for a geographic map search of a property which is then linked to the property card with just the click of a button. Maps will also include buildings, easements, topographic contours, flood maps, zoning district, and other GIS data layers. Maps will be searchable by address, Map/Lot, or property owner name. I have attached a screenshot of the Website Homepage.
- 2. Upcoming City Events.**
 - **Coffee with a Cop.** National Coffee with a Cop day is Wednesday, October 3rd. Somersworth's Police will be at the Dunkin Donuts on Route 108 from 7:00 a.m. – 9:00 a.m.
 - **Fire Department Open House.** This Annual Open House will be held on Saturday, October 13th from 10:00 a.m. – 2:00 p.m.
 - **Somersworth Festival Association 16th Annual Pumpkin Festival.** Saturday, October 13th from 10:00 a.m. 4:00 p.m., Somersworth Plaza, Main Street.
 - **Somersworth Annual Senior Picnic.** Wednesday, October 17th at the Flanagan Center Gym on Bartlett Avenue from 11:00 a.m. – 1:00 p.m.

B. Attachments.

- 1. City Attorney Certifications Two (2).** City Attorney will not have Certifications until Monday, October 1st.



City of Somersworth – Resolution

Resolution No: 15-19

TO APPROVE A BOND TO PROVIDE FUNDING TO RENOVATE MAPLE WOOD ELEMENTARY SCHOOL BY MAKING SECURITY UPGRADES AND OTHER BUILDING CAPITAL IMPROVEMENTS

September 4, 2018

WHEREAS, the City Council of the City of Somersworth desires to renovate and make capital improvements to Maple Wood Elementary School by improving security, upgrading building functionality to include, BUT NOT BE LIMITED TO, upgrades to the original HVAC system, and to repair and replace the roof; and

WHEREAS, the project costs include architecture, engineering, construction, and any other ancillary costs associated with the project; and

WHEREAS, the School Department has been notified that they have been awarded a \$720,000 (Seven Hundred Twenty Thousand dollar) grant from the Public School Infrastructure Fund to support the security improvements;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SOMERSWORTH THAT an amount not to exceed \$2,360,000 (Two Million Three Hundred Sixty Thousand dollars) is appropriated to renovate and make improvements to Maple Wood Elementary School by improving security, upgrading building functionality to include, BUT NOT BE LIMITED TO, upgrades to the original HVAC system, and to repair and replace the roof; and

BE IT FURTHER RESOLVED THAT:

- (a.) the City Manager is authorized to borrow up to \$1,640,000 (One Million Six Hundred Forty Thousand dollars) under the Municipal Finance Act and issue bonds and notes payable within 15 years from their dates,
- (b.) the City Manager is authorized to issue temporary notes in anticipation of the issue of these bonds or notes,
- (c.) the City Manager is authorized to apply for, obtain and accept federal, state or other aid, if any, which may be available for said project,
- (d.) the estimated useful life of this project is expected to exceed 15 years.

Authorization	
<i>Sponsored by Councilors:</i> David A. Witham Martin Dumont, Sr. Richard Michaud Nancie Cameron Martin Pepin	<i>Approved:</i> City Attorney

City of Somersworth – Resolution 15-19

History

First Read Date:	09/04/2018	Tabled:	09/17/2018
Public Hearing:	09/17/2018 & 10/01/2018	Removed From Table:	
Second Read:	09/17/2018		

Discussion

This Resolution requires a public hearing and requires a 2/3 majority vote of the City Council after the public hearing (Sections 7.13 and 7.14 City Charter).

On September 17, 2018, Councilor Witham, seconded by Councilor Dumont, made a motion to amend according to the redline report to include the repair and replacement of the roof.

Councilor Vincent said, after listening to all of the upgrades, it puts the school in a good position, with upgrades to the roof, HVAC, and security. It's a good move.

Councilor Dumont said we are turning the corner with the facilities, and we have a responsibility to maintain the facilities. He is happy to do the right thing when we approach these facilities. A great precedence has been established.

Councilor Pepin said, as far as the roof is concerned, the extra amount of money, with the tax cap, a 15 year bond will help to keep the tax to a minimum.

The motion to amend passed, 6-0.

Councilor Witham, seconded by Councilor Dumont, made a motion to table Resolution 15-19, for a second public hearing, motion passed 6-0.

Voting Record		YES	NO
Ward 1 Councilor	Pepin		
Ward 2 Councilor	Vincent		
Ward 3 Councilor	Dumont		
Ward 4 Councilor	McCallion		
Ward 5 Councilor	Michaud		
At Large Councilor	Witham *		
At Large Councilor	Sprague		
At Large Councilor	Cameron		
At Large Councilor	Levasseur		
TOTAL VOTES:			
On / / . Resolution 15-19		PASSED	FAILED



City of Somersworth – Resolution

Resolution No: **18-19**

TO AUTHORIZE THE SCHOOL DEPARTMENT TO UTILIZE FUNDS FROM AN EVERSOURCE ENERGY EFFICIENCY REBATE TO CONTRACT WITH IDEAL TEMP HVAC OF FREEMONT, NH TO REPLACE AN HVAC UNIT AT THE MIDDLE SCHOOL

October 1, 2018

WHEREAS, the School Department solicited proposals from qualified contractors to replace a failed HVAC unit at the Somersworth Middle School, and

WHEREAS, the School Building, Grounds, and Transportation Committee reviewed the bids received and recommends contracting with Ideal Temp HVAC of Freemont, NH to replace the HVAC unit utilizing funds available from an Eversource energy efficiency incentive rebate, and

WHEREAS, the Finance Committee met with the school administration and supports this recommendation at a cost not to exceed \$30,000 (Thirty Thousand dollars),

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SOMERSWORTH THAT the School Department is authorized to contract with Ideal Temp HVAC of Freemont, NH to replace an HVAC unit at the Somersworth Middle School at a cost not to exceed \$30,000 (Thirty Thousand dollars), and

BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF THE CITY OF SOMERSWORTH THAT the School Department is authorized to use the Eversource energy efficiency rebate to fund this project.

Note: The School Department received \$75,000 from Eversource as an incentive for implementing certain energy efficient projects at Idlehurst Elementary School. There is currently \$33,373 left from this incentive.

Authorization	
<i>Sponsored by Request:</i> Councilor David A. Witham	<i>Approved:</i> City Attorney

City of Somersworth – Resolution 18-19

History

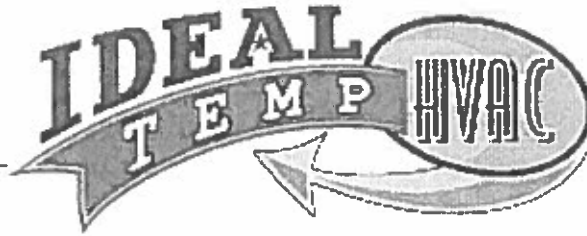
First Read Date:		Tabled:	
Public Hearing:		Removed From Table:	
Second Read:			

Action

Discussion

Voting Record		YES	NO
Ward 1 Councilor	Pepin		
Ward 2 Councilor	Vincent		
Ward 3 Councilor	Dumont		
Ward 4 Councilor	McCallion		
Ward 5 Councilor	Messier		
At Large Councilor	Witham *		
At Large Councilor	Sprague		
At Large Councilor	Cameron		
At Large Councilor	Levasseur		
TOTAL VOTES:			
On / / Resolution 18-19			

Estimate



Ideal Temp HVAC
90 Copp Dr
Fremont, NH 03044

Name/Address

Somersworth High School
11 Memorial Dr.
Somersworth NH

Date	Estimate No.	Project
08/30/18	18-963	

Item	Description	Quantity	Cost	Total
15 HVAC	Proposal to install one complete High Eff HVAC System in accordance with Plans drawn by Design Day Mechanicals dated - Remove an dispose of existing RTU unit. Cap over existing curb - Install New 4 ton Mitsubishi HVAC System EQUAL Or Better to Listed Specifications - DHP-1 - SLZKA09NAR1 - DHP-2 - SLZKA09NAR1 - DHP-3 - SLZKA09NAR1 - DHP-4 - PEAD18AA7 - HPCU MX28C48NA-U1 - Per plan including all refrigerant piping, condensate removal, ductwork - Inline Supply Fan - Supply and install one Greenheck CSP-A290 - Supply new gooseneck duct from existing roof curb to fan inlet, Insulate fresh air duct - Line Voltage Electrical Total Cost of Job : \$28,500	1	28,500.00	28,500.00
15 HVAC	ADD ALT - Supply new Ceiling Cassette to Office - DHP-5 ADD \$ 1,400 - Includes Line voltage electrical		0.00	0.00

Total	\$28,500.00
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August 13, 2018

Request for Proposals

RFP – 08-18

**Request for Proposal for Removal, Disposal,
and Replacement of Middle School Administration Office AC**

The Somersworth School District invites you to submit a Bid Proposal for the removal and disposal of a Packaged Cooling Only Rooftop Unit, for the Middle School Administration Office, and for its replacement with a high efficiency low operating temperature heat pump in accordance with the attached specifications, terms, and conditions.

One (1) original and four (4) copies of the bid Proposals shall be submitted in a sealed envelope clearly marked:

**“Sealed RFP-08-18
Middle School Office AC replacement”** and addressed to:

**SAU 56
51 West High Street
Somersworth, NH 03878
Attn: Katie Krauss, Business Administrator**

Completed proposals must be received at the above address on or before:

2:00 p.m. August 31, 2018

Proposals received after this date will not be accepted. Bid proposals received by e-mail or fax will not be considered.

There will be a mandatory walk-through/Pre-bid meeting for contractors that have not previously looked at the scope of work outlined in this RFP at 10:00 a.m. on August 24, 2018. Bidders must visit the site of the work to become fully acquainted with existing conditions, which may affect their work.

Work includes: Disconnecting the existing unit from the existing power supply and control wiring in coordination with the District's preferred electrical, control and roof contractors, disconnecting the existing hot water piping in the ductwork below the unit, in the office ceiling, and capping the piping with isolation valves in place. Disconnecting the old unit from the existing ceiling mounted supply and return ductwork, and removing the old unit from the rooftop. The old unit shall then be taken from the site and disposed of properly and legally. The Bidder shall then cap over the existing roof curb and provide and install a new high efficiency low operating temperature heat pump then connect it to the existing electrical power. The cap for the existing roof curb will be required to be weather-tight. The District shall provide the name of the preferred roofing and controls contractors. Any electrical work shall be contracted through the District's preferred electrical contractor noted below.

The necessary work for the project will be described in a written scope of work and with schematic drawings, with the specified equipment. The successful Bidder is required to use the District's subcontractors for electrical, controls, and roof.

Starting and completion dates for work on this project **shall be determined by the District** but work will need to start as soon as possible after the contract is awarded.

There will be a mandatory walk-through/Pre-bid meeting for contractors that have not previously looked at the scope of work outlined in this RFP at 10:00 a.m. on August 24, 2018. Bidders must visit the site of the work to become fully acquainted with existing conditions, which may affect their work.

Award of this bid is contingent upon the District and successful Bidder entering into a contract acceptable to the District.

The office contact for this project is Andy Lucier, Voice (603) 692-4935. The contact for Design Day Mechanicals, Inc. on this project is John Waitt, Voice (603) 269-7253, Fax (603) 269-7253, johnw@designdaymech.com.

RTU/ Heat Pump Replacement Scope of Work:

The purpose of this scope of work is to provide the Somersworth School District a proposal for the replacement of one (1) RTU on the roof of the Middle School. This unit will be replaced by a New Multi-Zone Heat Pump Unit.

The specified new heat pump model is noted on the schematic drawings provided. Equals will be considered. The system will be controlled by the manufacturer's control package and with wired wall mounted programmable controllers which will allow each space its own temperature control. The system will not be required to connect to the existing BMS.

The Bidder shall also contact **J and S Electrical, (603) 652 7664**, as the **electrical contractors** to provide pricing for the electrical work to be done at the school on this project. Before the bid, the Bidder shall visit the site with the electrical contractor to confirm whether the service panels or the existing power feed can operate the new units.

The Bidder shall be responsible, at a minimum, for the following:

1. Visit the site and determine the work needed to remove the main office hot water coil and adjust/ modify the existing supply duct as required to provide the fresh air duct shown on the schematic plans.
2. Note the material of all system components and the location of all shut-off valves.
3. Shut off the electrical power and control wiring systems to the rooftop unit.
4. Disconnect the electrical power and control wiring, and ductwork systems.
5. Lift the existing unit off its existing roof curb and cap the curb. Place the new heat pump unit on the modified curb. Provide an opening in the new cap to place a gooseneck air intake. Coordinate with the District's roofer all new work needed to maintain the integrity of the roofing system.
6. Extend electrical power as needed to power the new outdoor unit and the new indoor units. All new wiring to the new system shall comply with all applicable state and local codes.
7. All electrical, piping, and ductwork systems shall be properly sealed weather tight in a manner that will not allow any water to penetrate into the building system.

Execution of the work for this project shall include the following:

1. The Bidder shall provide all supervision, labor, equipment, material, machinery, plant, rigging, and any and all other items necessary to complete the mechanical system. Small details not specifically described in this scope but which are necessary for the proper installation and operation of the mechanical system shall be included in the work and in the Bidder's estimate.
2. The Bidder shall install equipment in accordance with manufacturer's recommendations.
3. Upon completion of work, the Bidder shall clean, oil and grease all fans, unless factory lubricated motors, all other running equipment and apparatuses, and make certain that all such apparatuses and mechanisms are in proper working order and made ready for testing.
4. Equipment shall be started, tested, adjusted, and placed in satisfactory operating condition by the Bidder.

5. The Bidder shall instruct the District in the proper operation of equipment and shall furnish the District with all instruction pamphlets, books and other material furnished by the manufacturer and explain the proper operating and maintenance procedures.
6. Equipment shall be installed with clearance for proper maintenance. Filters, coils, drives, valves, and controls shall be accessible for services and/or replacement.
7. Equipment shall be covered for one year from the reviewing engineer's date of acceptance and/or the duration of the manufacturer's guarantee or warranty, whichever is longer. The Bidder shall furnish the District with all manufacturer's guarantees or warranties.
8. Any discrepancies found between the information noted above for the new multi-zone heat pump shall be brought to the attention of the HVAC designer of record. All questions about these discrepancies can be directed toward John Waitt (603) 269-7253.

General Conditions:

1. Each Bidder shall visit the site of the proposed Work and become fully acquainted with the conditions as they exist. Each Bidder shall also thoroughly examine the bid documents. Failure of any Bidder to visit the site and become acquainted with conditions and with the bid documents shall in no way relieve him or her from any obligations with respect to the bid. The Bidder shall be conclusively deemed to have known and seen all facts and circumstances reasonably observable by an experienced contractor visiting the site for the purpose of preparing and submitting a bid.
2. Should the Bidder find, during examination of the bid documents, or after visiting the site, any discrepancies, omissions, ambiguities or conflicts in or among the bid documents, or be in doubt as to their meaning, he shall so notify the District's Agent and request Interpretation.
3. By submitting a bid, the Bidder agrees that the bid documents are adequate and that the required result can be produced.
4. The successful Bidder shall furnish any and all extras and make any changes needed to produce the required result to the satisfaction of the District.
5. The District shall not be responsible for any costs over the accepted bid unless the District agrees to a change order adjusting the price prior to the Bidder

undertaking the work or incurring the expense giving rise to the requested change.

6. The successful Bidder shall provide proof of Workers' Compensation Insurance to SAU 56. The successful Bidder shall provide proof of Property and Liability Insurance by submitting a certificate of insurance and policy endorsements to SAU 56 naming SAU 56, and the District as additional insureds. The successful Bidder shall also provide proof it is licensed and authorized to do business in New Hampshire.
7. Award of the bid is conditioned upon the District and Bidder entering into a contract satisfactory to the District.

Request for Proposals – Terms & Conditions:

1. **Right to Reject** – The District reserves the right to accept any bid and reject any bid and to award the bid to other than the low Bidder if the bid is deemed most advantageous to the District at the sole discretion of the District. The District also reserves the right to waive all formalities and reject any and all proposals when it is in the best interest of the District to do so. The District also reserves the right to negotiate with a Bidder deemed most advantageous if the bid exceeds the budgeted appropriation. Bidder shall be responsible for any and all expenses that they may incur in responding to this RFP.
2. **Eligibility** – To be eligible for an award, a Bidder must be deemed "responsible". A responsible Bidder:
 - a. has the ability, capacity and skill to provide the required services
 - b. can provide the services within the time frame specified
 - c. has a satisfactory record of integrity, judgment and experience
 - d. has sufficient financial resources to provide the services
 - e. has provided at least three (3) favorable written references from clients

If a Bidder is currently or in the past five (5) years has been involved in litigation, it must provide a narrative describing the general nature of the litigation, the attorneys for the parties, if any, the court where the matter is pending, if any, and sufficient detail to understand the nature of the claims made and damages asserted.

Opening of Bids – The bid proposals will be opened and reviewed by the District and the successful Bidder shall be notified by a representative of the District.

HEAT PUMP SCHEDULE

MARK	SERVES	MAKE	MODEL	COOLING (MBH)	HEATING (MBH)	AIRFLOW (CFM)	MOUNTING	WATTS	MCA	MCCP	VOLT/PH	CONDENSATE PUMP	NOTES
DUCTLESS HEAT PUMP INDOOR UNIT (DHP)													
DHP-1	PRINCIPAL	CARRIER	MAU-AP0071MH2UL	7.5	8.5	320 HI	CEILING		1	15	208/1	YES	1
DHP-2	ASST. PRINCIPAL	CARRIER	MAU-AP0071MH2UL	7.5	8.5	320 HI	CEILING		1	15	208/1	YES	1
DHP-3	CONFERENCE	CARRIER	MAU-AP0091MH2UL	9.5	10.5	330 HI	CEILING		1	15	208/1	YES	1
DHP-4	FRONT OFFICE	CARRIER	MMD-AP0214BH2UL-1	21.0	24.0	555 MD	ABOVE CEILING	91		15	208/1	YES	1
DHP-SAA													3
HEAT PUMP UNIT COMPRESSOR/ CONDENSING UNIT (HPCU)													
HPCU	DHP-1-4	CARRIER	MCY-MA0607HS-UL	60.0	66.0	4850*	ROOFTOP		36	40	208/1	NA	2


NOTES

1. WIRED CONTROLLER
2. * CONDENSER AIRFLOW
3. ADDITIONAL ALTERNATE TO PROVIDE COOLING/ HEATING TO OFFICE. SYSTEM BRANCH BOX WILL REQUIRE ENOUGH PORTS TO HANDLE 5 INDOOR UNITS

INLINE SUPPLY FAN SCHEDULE (ISF)

MARK	SERVES	MAKE	MODEL	CFM	ESP (IN WC)	RPM	BHP	MHP	WATTS	VOLT/PH	SCHEM	NOTES
ISF-1	OFFICES	GREENHECK	CSP-A250	200	0.5	1050	-	-	80	115/1	4.0	1.2

1. DISCONNECT, MOTOR OPERATED DAMPER WITH END SWITCH. PROVIDE TIME CLOCK TO OPEN DAMPER; WHEN OPEN, START FAN. OPEN DURING OCCUPIED HOURS, AND CLOSED DURING UNOCCUPIED
2. INSULATE NEW SUPPLY DUCT FROM GOOSENECK TO FAN INLET

 <p> REFER ALL QUESTIONS TO: HVAC: JOHN L. WATT EMAIL: JOHN@DESIGNDAYMECH.COM F2 (603) 289-7353 148 BEAVER BROOK RD., CENTER BARNSTEAD, NH 03225 </p>	PROJECT: SOMERSWORTH MIDDLE SCHOOL ADMIN OFFICE RTU REPLACEMENT SOMERWORTH, NH	DATE: 07/23/18 DWG. BY: JLW
	SUBJECT: NEW HEAT PUMP SCHEDULES	SCALE:
	MSK-2	



City of Somersworth – Resolution

Resolution No: 19-19

TO ACCEPT CURRAN WAY AS A PUBLIC WAY

October 1, 2018

WHEREAS, the City of Somersworth Planning Board approved a certain subdivision known as Subdivision Plan for Bridgeview Farms, Salmon Falls Road, and Maloney Street, Somersworth New Hampshire, Tax Map 52, Lot 1, Dated July 11, 2005, last revised November 21, 2005, prepared by Trittech Engineering Corporation, recorded as Plan #83-18 at the Strafford County Registry of Deeds and the roadway was to be accepted by the City of Somersworth; and

WHEREAS, the City Council named Curran Way as a street by Resolution No. 11-08 on October 1, 2007; and

WHEREAS, the road known as Curran Way has been constructed to the satisfaction of the City,

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF SOMERSWORTH THAT the City Manager is authorized to accept and record a deed to Curran Way and said way is hereby accepted as a public way.

Authorization	
<i>Sponsored by Request:</i> Councilor Dale R. Sprague	<i>Approved:</i> City Attorney

City of Somersworth – Resolution 19-19

History

First Read Date:	10/01/2018	Tabled:	
Public Hearing:		Removed From Table:	
Second Read:			

Action

Councilor _____ moved for adoption, seconded by Councilor _____.

Discussion

Voting Record		YES	NO
Ward 1 Councilor	Pepin		
Ward 2 Councilor	Vincent		
Ward 3 Councilor	Dumont		
Ward 4 Councilor	McCallion		
Ward 5 Councilor	Michaud		
At Large Councilor	Witham		
At Large Councilor	Sprague *		
At Large Councilor	Cameron		
At Large Councilor	Levasseur		
TOTAL VOTES:			
On / / . Resolution 19-19		PASSED	FAILED



MEMORANDUM from Director Public Works & Utilities

Date: September 28, 2018

To: Bob Belmore, City Manager

From: Michael J. Bobinsky, Director of Public Works and Utilities

Cc: Gary Lemay, City Engineer

Re: Acceptance of Curran Way

The developer of Curran Way subdivision has indicated that the development is completed and is requesting City acceptance of the public improvements including the road, stormwater drainage system and water mains located in Curran Way. Departmental staff working with our third (3rd) party engineer has requested specific elements to be addressed prior to acceptance. The developer has addressed several of the requested items including road paving, cleaning catch basins, repairing granite curbs and ensuring drainage swales function properly. The following items, however, are outstanding and I recommend to be addressed before the City Council accepts the public improvements:

-Staff discovered cracking along the lower half of Curran Way this past summer (see photos below from after crack-sealing) and have been reviewing corrective measures with the developer. Curran Way was paved this past fall and should not exhibit any cracking or damage this early in its service life. The developer has been directed to place a $\frac{3}{4}$ " overlay over the entire road surface to avoid a saw-cut joint into the new pavement. Although the developer crack sealed under his own direction repaving the entire road surface as requested has not occurred.

- Developer to provide the City with a Road Maintenance escrow required (per Ordinance 22. 7. O.2.a.ii) to be held for 2 years from the date of completion. Staff is working with the Developer on the final value of the road improvements to determine the maintenance escrow amount.



Sophie Lane, LLC

12/8/17

Robert Belmore
City Manager
City of Somersworth
One Government Way
Somersworth, NH 03878

cc Mike Bobinsky, Shanna Saunders

Re: Curran Way

Dear Mr. Belmore,

I am writing to apply to the City Council to accept Curran Way as a City Street at the January 18th meeting.

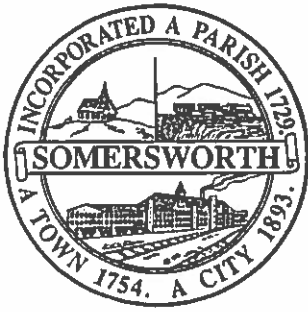
I have been working with the City Engineer and Planner to complete the work needed to complete the street in preparation for acceptance, and I believe that all of the work has been completed satisfactorily.

I am aware that a 2 year maintenance bond or other form of security will be required.

Please let me know if any additional information is needed.

Sincerely,

Joseph Caldarola
Managing Member



Shanna B. Saunders, Director
Development Services

To: Bob Belmore, City Manager
Date: August 30, 2018
Re: 79E request for 57-65 High Street, David Baker

Please find attached the 79E Application for 57-65 High Street – The Leroy's Building.

The application is complete and includes the following items and requests:

- Application for tax relief for 7 year (5 years for a qualifying structure and 2 years for creation of new non-subsidized, non single family housing units)
- Public benefits include a) building improvement, b) providing downtown housing units to create demand for local businesses, c) increased economic activity downtown, d) provide updated space for new business.

As per Chapter 31 of the City Ordinances the Planning and Community Development Office recommends the City Council hold a duly noticed public hearing to determine 1) whether the structure at issue is a qualifying structure; 2) whether the proposed rehabilitation qualifies as substantial rehabilitation; 3) whether there is a public benefit to granting the requested tax relief, and 4) whether the proposed use is consistent with the municipality's master plan and development regulations and, if so, for what duration and with what terms.

No later than 45 days after the public hearing, the City Council shall render a decision by majority vote granting or denying the requested tax relief and, if so granting, establishing the tax relief period.

A covenant shall be drafted by the applicant and reviewed by the City's Legal Counsel at the applicant's expense.

August 20, 2018

Shanna Sanders
City of Somersworth
Director of Planning & Development
One Government Way
Somersworth, NH 03878


Dear Shanna

Please find attached Somedowntown's 79E application related to request for tax relief for the proposed project at 57-65 High Street in Somersworth. We would like to request a seven (7) year period of tax relief allowable for this project.

As you can see in the application this project is focused upon fostering beneficial growth within the community. This is set forth in four distinct points in the analysis. The project will maintain the historical mixed use for the property of living and commercial space. We are seeking to raise the density of the living space and continue to provide opportunities for local community-based businesses. The commercial tenants will remain, Leroy's barbershop who has resided at this location for over ten years and a new community-based business SomeCity. It should be noted that both of these tenants continue to occupy these units at below market rents which should demonstrate our commitment to the community.

Please feel free to reach out with any further questions.

Sincerely,


David H.M. Baker
Somedowntown LLC
Managing Member

RECEIVED

AUG 31 2018



PROJECT NAME/LOCATION

65 High Street
85 High Street
Somersworth, NH 03878

CLIENT

Some Downtown LLC
David H.M. Baker
98 Fairview Ave
Portsmouth, NH 03801

ARCHITECT



over,under
46 Waltham Street
Courtyard One
Boston, Massachusetts 02118
+1 (617) 426-4466
info@overunder.co

CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 9/26/2018
SCALE AS NOTED
DRAWN BY AP
PROJECT NUMBER 147

SHEET TITLE

over,under
Rami el Samahy
46 Waltham Street, Courtyard One
Boston, Massachusetts 02118
+1 (617) 426-4466

NOT FOR CONSTRUCTION



January 26, 2018
Feasibility Study

65 High Street
65 High Street
Somersworth, NH 03878

ARCHITECT



over,under

Rami el Samahy
46 Waltham Street, Courtyard One
Boston, Massachusetts 02118

+1 (617) 426-4466

Some Downtown LLC

David H.M. Baker
98 Fairview Ave
Portsmouth, NH 03801

DRAWING LIST	SHEET	TITLE
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AE101	EXISTING SITE PLAN
AE101	EXISTING PLANS
AE200	EXISTING SOUTH ELEVATION
AE201	EXISTING NORTH ELEVATION
AE202	EXISTING EAST ELEVATION
AE203	EXISTING WEST ELEVATION
AE300	EXISTING NORTHSOUTH BUILDING SECTION
AE301	EXISTING NORTHSOUTH BUILDING SECTION 2
AE100	DEMO SITE PLAN
AE101	DEMO PLANS
AE102	PROPOSED SITE PLAN
AE101	PROPOSED PLANS
AE200	PROPOSED SOUTH ELEVATION
AE201	PROPOSED NORTH ELEVATION
AE202	PROPOSED EAST ELEVATION
AE203	PROPOSED WEST ELEVATION
AE300	NORTHSOUTH BUILDING SECTION
AE301	NORTHSOUTH BUILDING SECTION 2
AE300	EXISTING AXON
AE301	PROPOSED AXON



City of Somersworth
Department of Development Services
One Government Way, Somersworth, NH 03878
603/692-9519
FAX 603/692-9575
www.somersworth.com

Community Revitalization Tax Relief Incentive Application

(per City Ordinance Chapter 31)

Date: _____ [Office use only. Fee submitted: _____]

Property information

Property address/location: 59.65 High St

Name of building (if applicable): Leroy's Barbershop Bldg

Tax Map: _____ Lot #: _____

Property owner

Name (include name of individual): Somedowntown LLC

Mailing address: 98 Fairview Ave

Telephone #: 617 504-3070 Email: dbaker62@me.com

Proposed project

Explain project and include number of years of relief being requested (attach additional sheets if necessary): Seag Hatched

Building uses Existing: _____ ; Proposed: _____
Nonresidential square footage. Existing: 1,684.2 ; Proposed: 1684.2
of residential dwelling units. Existing: 4530.2 ; Proposed: 3273.9
Expected construction dates. Start: June 2019 ; Finish: Oct 2019

Project costs

Describe work that will constitute the substantial rehabilitation and estimated/projected costs. Please attach written estimates, if available.

Structural: (SEE ATTACHED) Cost: \$ _____

Electrical: (SEE ATTACHED) Cost: \$ _____

Plumbing: (SEE ATTACHED) Cost: \$ _____

Mechanical: _____ Cost: \$ _____

Other: * TOTAL ESTIMATE ATTACHED Cost: \$ _____

** GROEN CONSTRUCTION IS GC - WILL SUB CONTRACT ELECTRICAL / PLUMBING WORK \$715,832.91

Other Information electrical / Plumbing dls

Name of contractor (if known): GROEN CONSTRUCTION

Will the project include any residential housing units? Yes; If so, how many? 8

Will any state or federal grants or funds be used in this project? No

What are the proposed public benefits associated with this project (in accordance with

Chapter 31 Section 7)? Project will increase density downtown by

offering quality living units that will positively impact
lifestyle, foot traffic, economic activity downtown and
over time attract more service based businesses expanding tax
base & overall level of economic activity.

Submission of application

Note: This program is available for projects where the rehabilitation cost equals or exceeds 15 percent of the pre-rehabilitation assessed valuation or \$75,000, whichever is less. Please attach any plot plans, building plans, elevation drawings, sketches, or photographs which help illustrate the project. A \$50.00 non-refundable application fee (made out to "City of Somersworth") must be submitted with this application. This application must be signed by the property owner.

I (we) hereby submit this application under Chapter 31 Community Revitalization Tax Relief Incentive of the City of Somersworth and attest that to the best of my (our) knowledge all of the information herein and in the accompanying materials is true and accurate. I (we) have reviewed the Ordinance and understand that: a) there will be a public hearing to evaluate the merits of this application; b) I (we) will need to enter into a covenant with the City; and c) I (we) may be required to pay reasonable expenses associated with the creation and recording of the covenant.

Signature of property owner (1) [Signature]

Date: 8/5/18

Signature of property owner (2): _____

Date: _____

Public Benefit –Proposed Project at 57-65 High Street Somersworth, NH

I believe this project will provide a number of very tangible benefits to the city of Somersworth and surrounding community. The three major benefits will be discussed below.

1. Improvement of the building in the heart of the downtown corridor.
2. Raising the density of living space downtown.
3. Increasing the level of economic activity in downtown community.
4. Offering small businesses beneficial to the community initially at below market rates

Building Improvement.

Our proposed renovation of the building should significantly improve the look as individuals travel along the downtown High street corridor. This will have numerous positive impacts. We believe improving the look should send a very positive message to all in the community that investors have confidence in the future of the opportunity in Somersworth and should instill pride among community members and hopefully inspire others to consider making similar improvements/investments to aging properties. Secondly, we are improving the space for existing tenants that will hopefully increase their traffic and opportunity to serve the community. This impact would have been demonstrated by the project we completed at 67-73 High Street next door.

Raising Density Downtown

As most of you know, it is my strong desire to increase the density of living space in the downtown corridor, seeking to serve upwardly mobile, knowledge based Millennial labor force. This should have a significant impact on the level of economic activity in this area providing a base of new demand for all the local businesses. Secondly, this should start to create some momentum for other similar individuals to move to the area if we can create such a unique environment where these individuals can Live, Work and Play.

Increased Economic Activity Downtown.

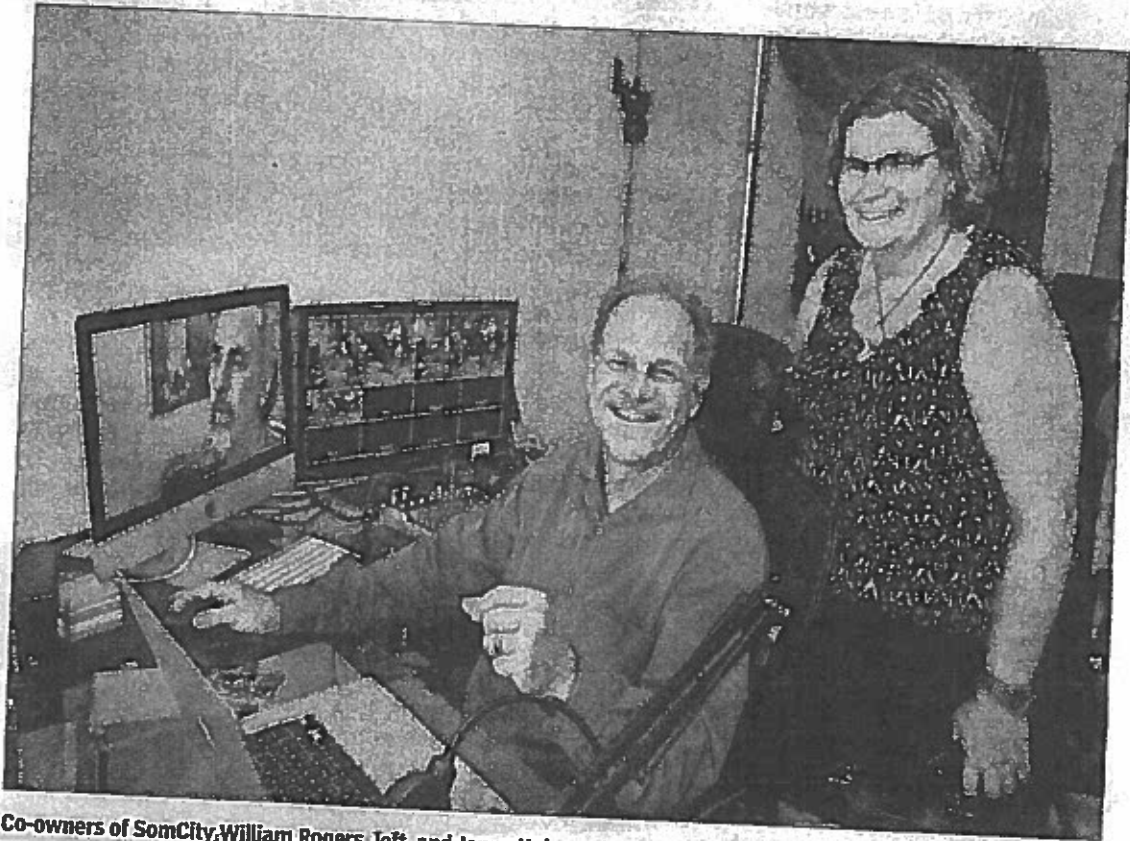
The impact of improving the building and raising density will over time directly flow back to the community. Greater levels of economic activity, traffic, pride in community will raise tax revenues for the city and over time with the proper momentum will attract more investment to Somersworth. This is the end goal, to have my projects become a catalyst for others to replicate and follow which would have very positive economic impact for the city and community.

Preferred Space for Community Based Businesses

This project will offer space to businesses who are directly focused on providing value to the local community. These businesses will initially be offered rents at below market rates and any rise in rent will be phased in over time based on what the business can financially support in order to serve the community. See attached article on "SomeCity which is example of what we seek to achieve.

Fosters 8-17-18

SomeCity opens for business



Co-owners of SomCity, William Rogers, left, and Jenne Holmes during open house at their creative space on High Street Thursday in Somersworth. [PHOTOS BY SHAWN ST. HILAIRE/FOSTERS.COM]

New creative arts space hosts open house

By John Doyle

jdoyle@seacoastonline.com

SOMERSWORTH — A new creative arts space officially opened in the Hilltop City's downtown on Thursday.

Local documentary filmmaker and teacher Bill Rogers of South Berwick, Maine, and Somersworth freelance journalist Jenne Holmes, unveiled the new creative space, titled The Creators' Center at SomeCity, at 67 High St., with an open house.

"It's very intimate," Rogers said about SomeCity, which is located inside a modestly sized storefront next to Teatotaler Cafe. "We'd talked about something larger scale, but I can get going with this. Sometimes a smaller space is better. I have a lot of stuff, but it's like moving into a condo — you need to get everything to fit in a little place."

In its small but cozy space, SomeCity features video cameras, microphones, computers and other equipment that community members can use (for an hourly fee) to write, create YouTube videos and audio recordings, and collaborate with other artists.

SomeCity will also be the home office of Holmes's website, www.somersworththenandnow.com, where she blogs about all



Paul Robidas, left, State Sen. David Watters, City Manager Robert Belmore, Tom Jackson, back, Jenne Holmes, Richard Gagne, Bill Rogers, and Matthew Travis pose for a photo during SomCity creative arts space open house Thursday afternoon in Somersworth.

things Somersworth.

"It won't just be on the web anymore," Holmes said. "Now it's got a physical location. It's a community hub. Instead of people asking 'where the hell is Jenne,' they'll know I'm here."

Local filmmaker Tom Jackson of Farmington works with Rogers on a YouTube show called "The Creators" where they interview local artists and performers.

"Whatever art they create, they can display that," Jackson said about his show. "They can sing if they're a musician. (We) bring in Seacoast area artists of different types whom we've worked with in the past. Bringing them in, giving them something they can potentially use for promotion online, and they get to do their thing."

Jackson is also an adjunct professor of communications at the University of New Hampshire. He's been a documentary filmmaker for about the last 20 years.

"Just having the opportunity to do these things online — that kind of production has become more popular," Jackson said. "This is an opportunity to get together and produce things like that as a community."

Rogers is an accomplished documentary filmmaker. As the head of the nonprofit Coruway Film Institute, he has produced the documentaries "My Uncle Joe," about his developmentally disabled uncle Joe Rogers, available on YouTube, and "Flying Downhill," about New Hampshire native Olympic skiing medalist Bode Miller, which is available on DVD.

"We want people to be excited about the prospect of having some microphones and cameras to be able to use it as their format and medium," Rogers said. "I like making stuff myself, and I like authoring things, but I also like enabling other people to create things."

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somersworth, NH 03878

CLIENT

Some Downtown LLC
David H.M. Baker
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Portsmouth, NH 03801

ARCHITECT



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CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/26/2018
SCALE AS NOTED
DRAWN BY J.M.
PROJECT NUMBER 14.
SHEET TITLE

COVER SHEET

SHEET NUMBER

NOT FOR CONSTRUCTION

DRAWING LIST	
SHEET	TITLE

A100	EXISTING SITE PLAN
A101	EXISTING PLANS
A200	EXISTING SOUTH ELEVATION
A201	EXISTING NORTH ELEVATION
A202	EXISTING EAST ELEVATION
A203	EXISTING WEST ELEVATION
A300	EXISTING NORTH-SOUTH BUILDING SECTION
A301	EXISTING NORTH-SOUTH BUILDING SECTION 2
A100	DEMO SITE PLAN
A101	DEMO PLANS
A102	DEMO PLANS
A103	PROPOSED SITE PLAN
A104	PROPOSED PLANS
A105	PROPOSED PLANS
A200	PROPOSED SOUTH ELEVATION
A201	PROPOSED NORTH ELEVATION
A202	PROPOSED EAST ELEVATION
A203	PROPOSED WEST ELEVATION
A300	NORTH-SOUTH BUILDING SECTION
A301	NORTH-SOUTH BUILDING SECTION 2
A600	Schedule
A601	EXISTING A/CN
A602	PROPOSED A/CN



January 26, 2018
Feasibility Study

65 High Street
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Somersworth, NH 03878

CLIENT

Some Downtown LLC

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98 Fairview Ave
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ARCHITECT



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PROJECT NAME/LOCATION

65 High Street
Somersworth, NH 03878

CLIENT

Some Downtown LLC
David H.M. Baker
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Portland, ME 04101

ARCHITECT



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CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/26/2018
SCALE AS NOTED
DRAWN BY AF
PROJECT NUMBER 147

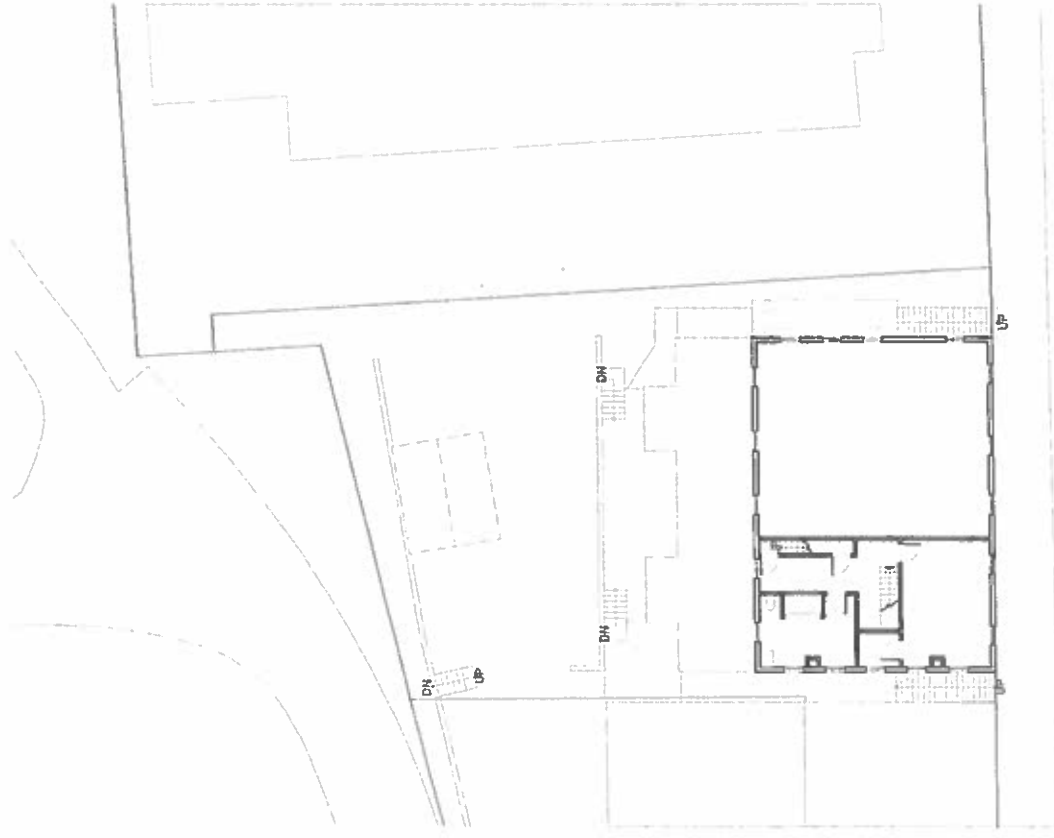
SHEET TITLE

EXISTING SITE PLAN

SHEET NUMBER

AE100

NOT FOR CONSTRUCTION



1 Existing Site Plan
SCALE: 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somerset, NH 03073

CLIENT

Some Downtown LLC
David H.M. Baker
98 Fairview Ave
Portsmouth, NH 03801

ARCHITECT



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CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/26/2018
SCALE AS NOTED
DRAWN BY AP
PROJECT NUMBER 147

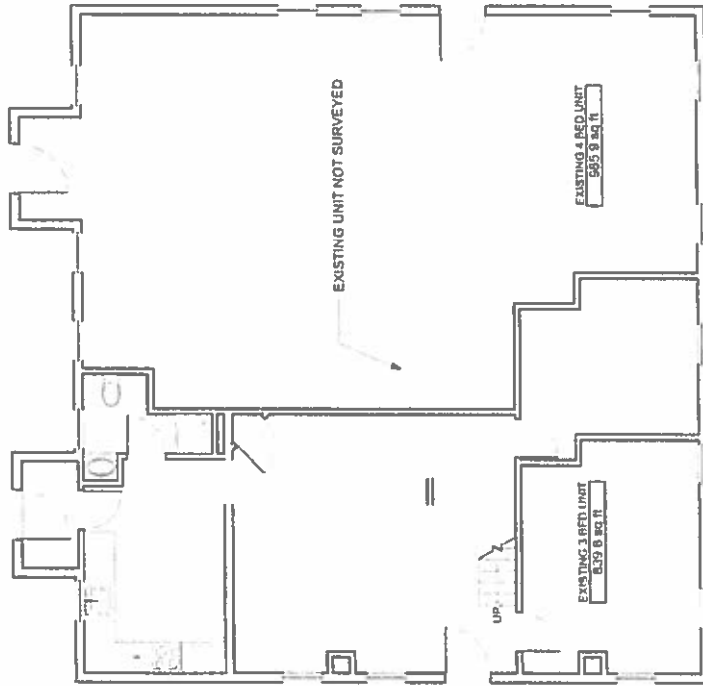
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EXISTING PLANS

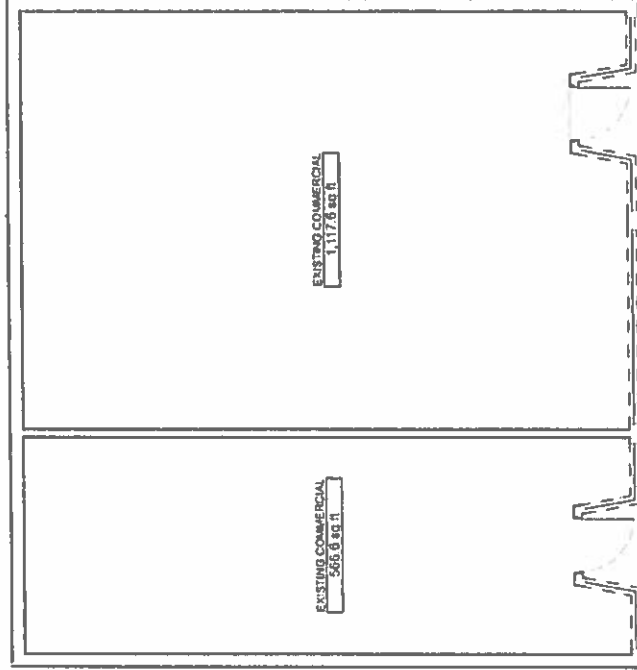
SHEET NUMBER

AE101

NOT FOR CONSTRUCTION



2 Existing Level 1
SCALE: 1/8" = 1'-0"



1 Existing Level 0
SCALE: 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somerville, NH 03878

CLIENT

Some Downtown LLC
David H.M. Baker
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ARCHITECT



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CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/28/2018
SCALE AS NOTED
DRAWN BY JCS
PROJECT NUMBER 147

SHEET TITLE

EXISTING PLANS

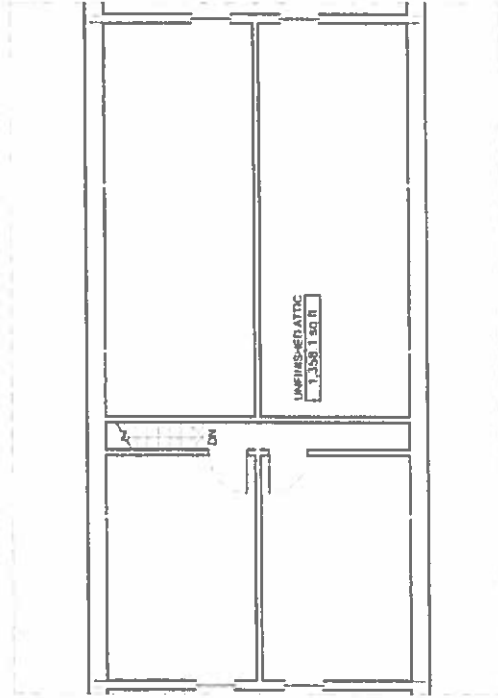
SHEET NUMBER

AE102

NOT FOR CONSTRUCTION



1 Existing Level 2
SCALE: 1/8" = 1'-0"



2 Existing Level 3
SCALE: 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somersworth, NH 03878

CLIENT

Some Downtown LLC
David H.M. Baker
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ARCHITECT



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CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/25/2018
SCALE AS NOTED
DRAWN BY JAP
PROJECT NUMBER 147

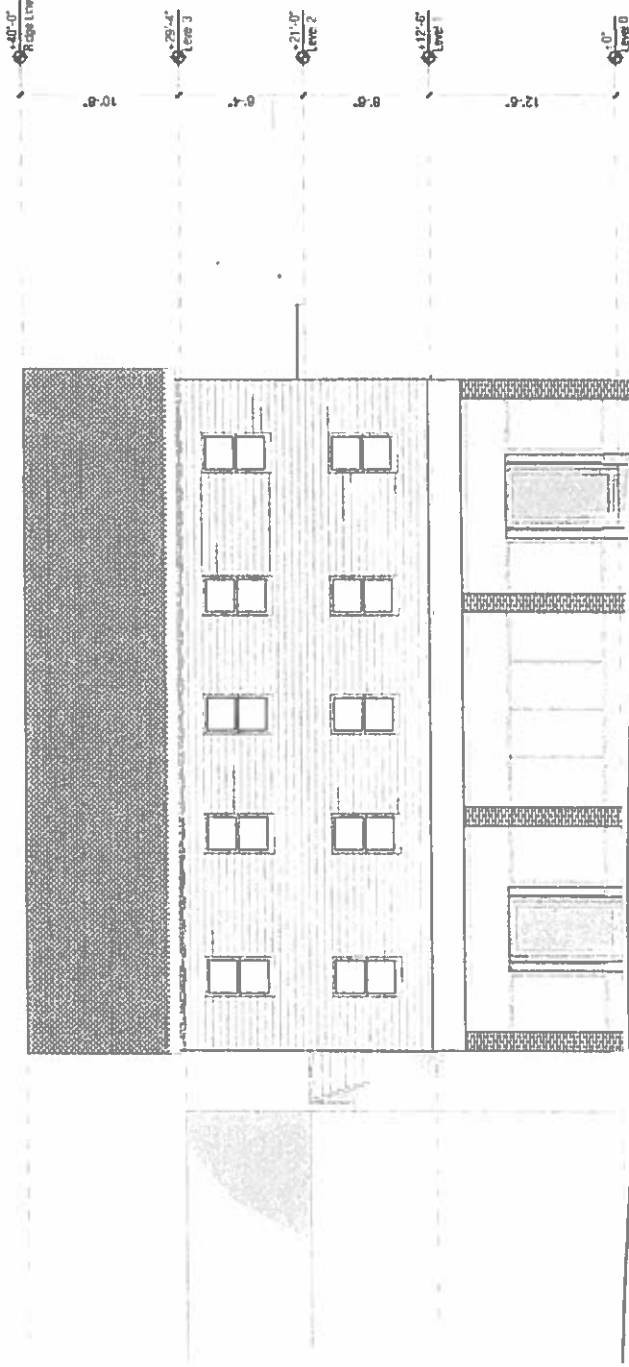
SHEET TITLE

EXISTING SOUTH
ELEVATION

SHEET NUMBER

AE200

NOT FOR CONSTRUCTION



1 Existing South Elevation
SCALE 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somersworth, NH 03878

CLIENT

Some Downtown LLC
David H.M. Baker
98 Fairview Ave
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ARCHITECT



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CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/26/2018
SCALE AS NOTED
DRAWN BY JAS
PROJECT NUMBER 147

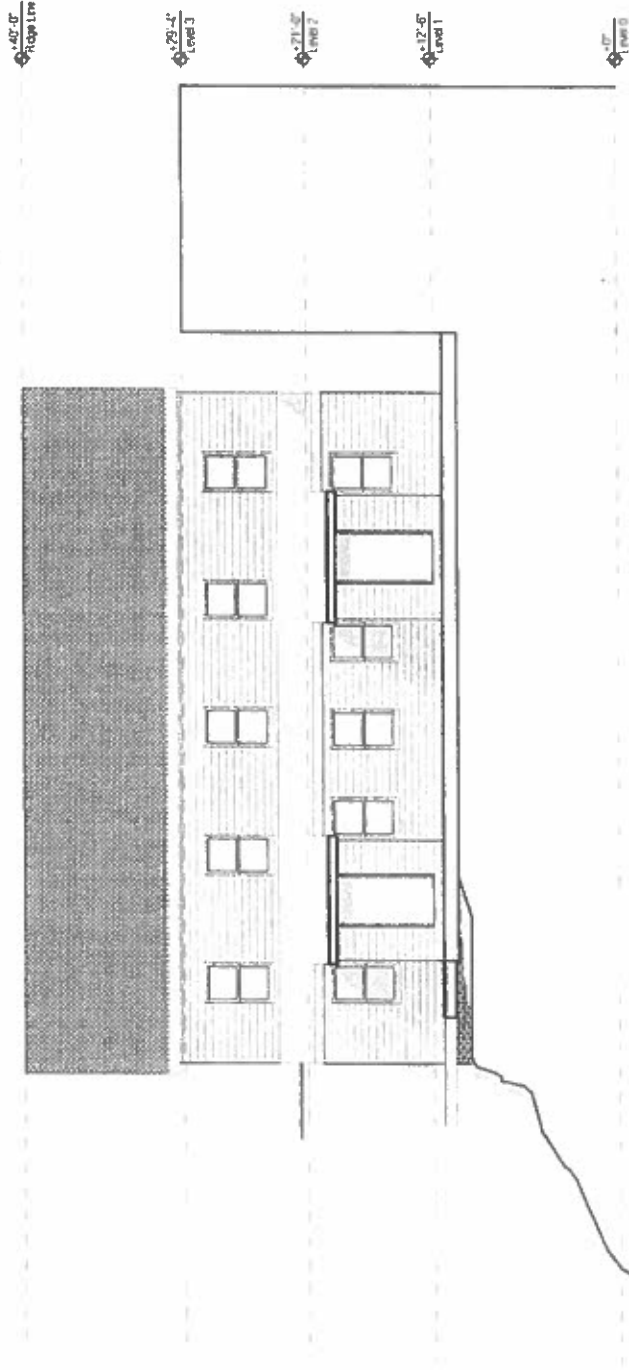
SHEET TITLE

EXISTING NORTH
ELEVATION

SHEET NUMBER

AE201

NOT FOR CONSTRUCTION



1 Existing North Elevation
DATE 1/26/18

PROJECT NAME/LOCATION

65 High Street

65 High Street
Somerville, NH 03875

CLIENT

Some Downtown LLC

David H.M. Baker
98 Fairview Ave
Portsmouth, NH 03801

ARCHITECT



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CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 07/25/2016

SCALE AS NOTED

DRAWN BY JP

PROJECT NUMBER 147

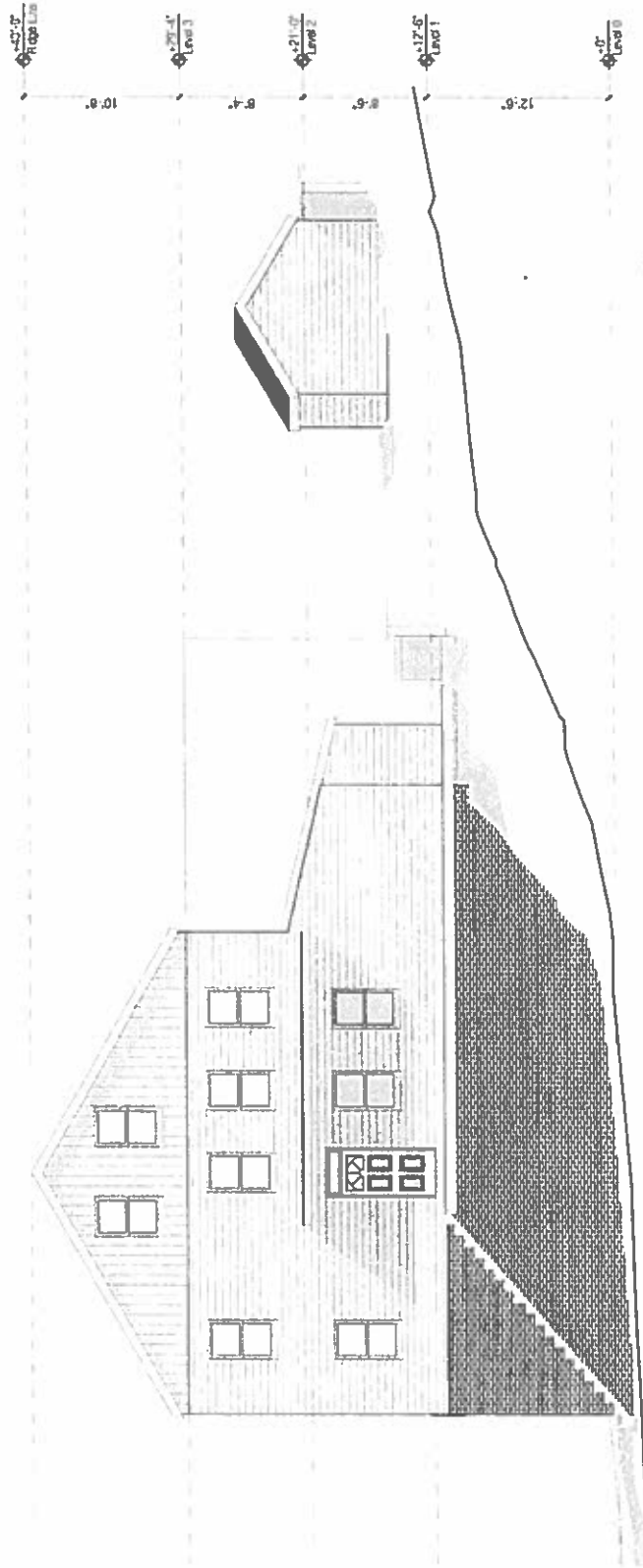
SHEET TITLE

EXISTING EAST
ELEVATION

SHEET NUMBER

AE202

NOT FOR CONSTRUCTION



Existing East Elevation
SCALE: 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somersworth, NH 03878

CLIENT

Some Downtown LLC
David M.A. Baker
96 Franklin Ave
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ARCHITECT



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CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/26/2018
SCALE AS NOTED
DRAWN BY AP
PROJECT NUMBER 117

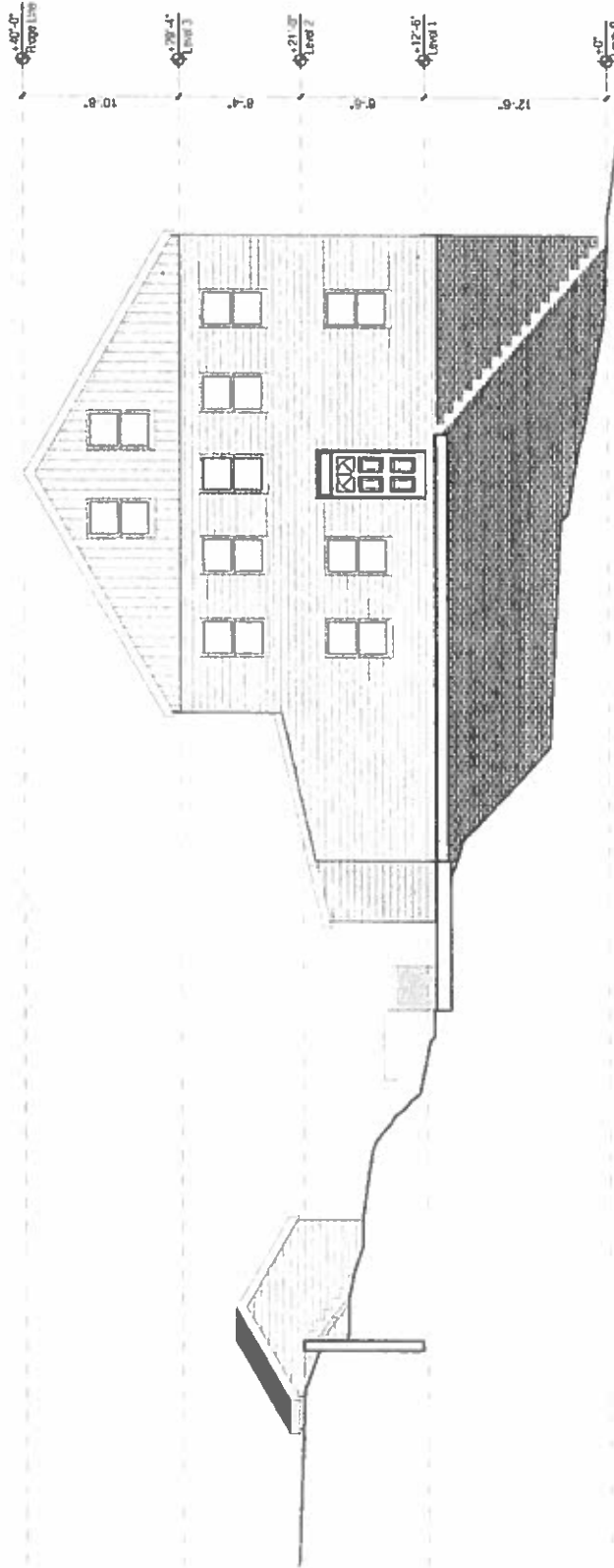
SHEET TITLE

EXISTING WEST
ELEVATION

SHEET NUMBER

AE203

NOT FOR CONSTRUCTION



1 Existing West Elevation
SCALE: 1/4" = 1'-0"

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somerset, NH 03076

CLIENT

Some Downtown LLC
David H.M. Baker
98 Fairview Ave
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ARCHITECT



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PROJECT STATUS

Feasibility Study

DATE 01/26/2011
SCALE AS NOTED
DRAWN BY AF
PROJECT NUMBER 141

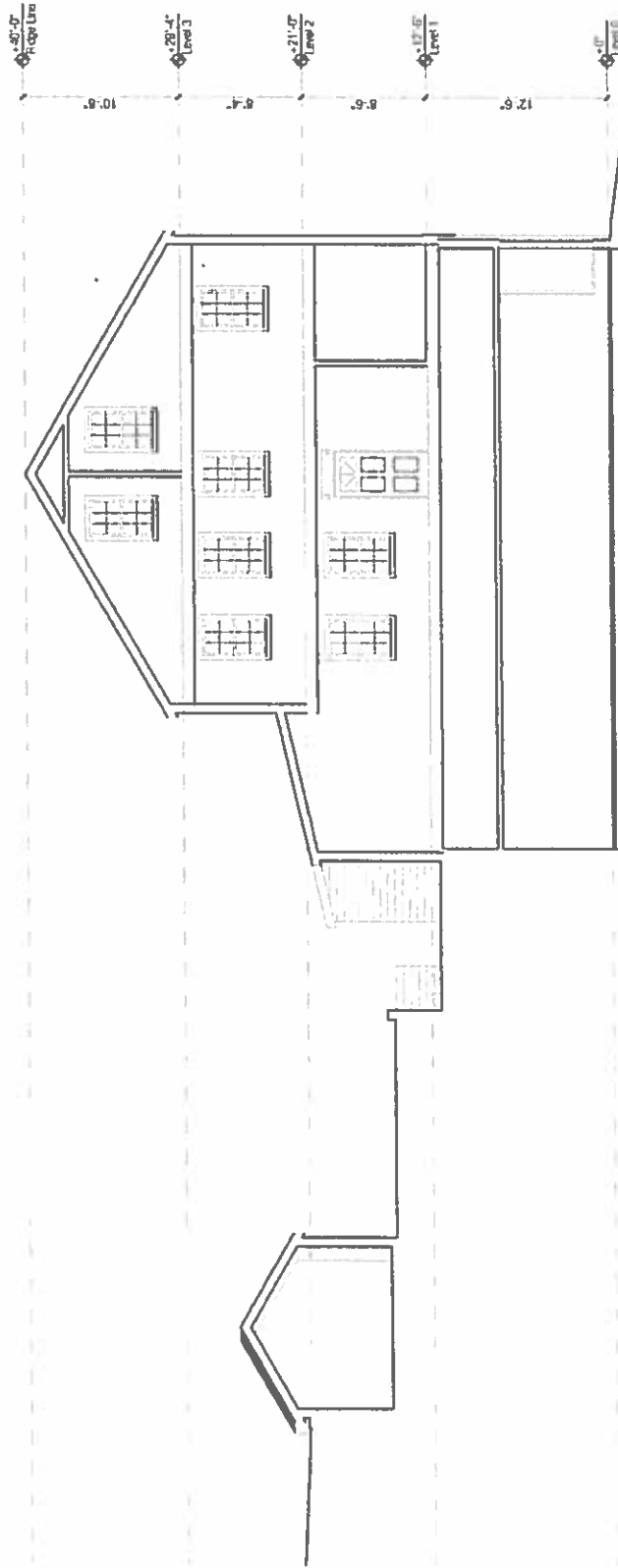
SHEET TITLE

EXISTING NORTH/SOUTH
BUILDING SECTION

SHEET NUMBER

AE300

NOT FOR CONSTRUCTION



1 Existing Section
SCALE 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somersworth, NH 03878

CLIENT

Soma Downtown LLC
David H.A. Baker
36 Fairview Ave
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ARCHITECT



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CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/26/2018
SCALE AS NOTED
DRAWN BY AP
PROJECT NUMBER 147

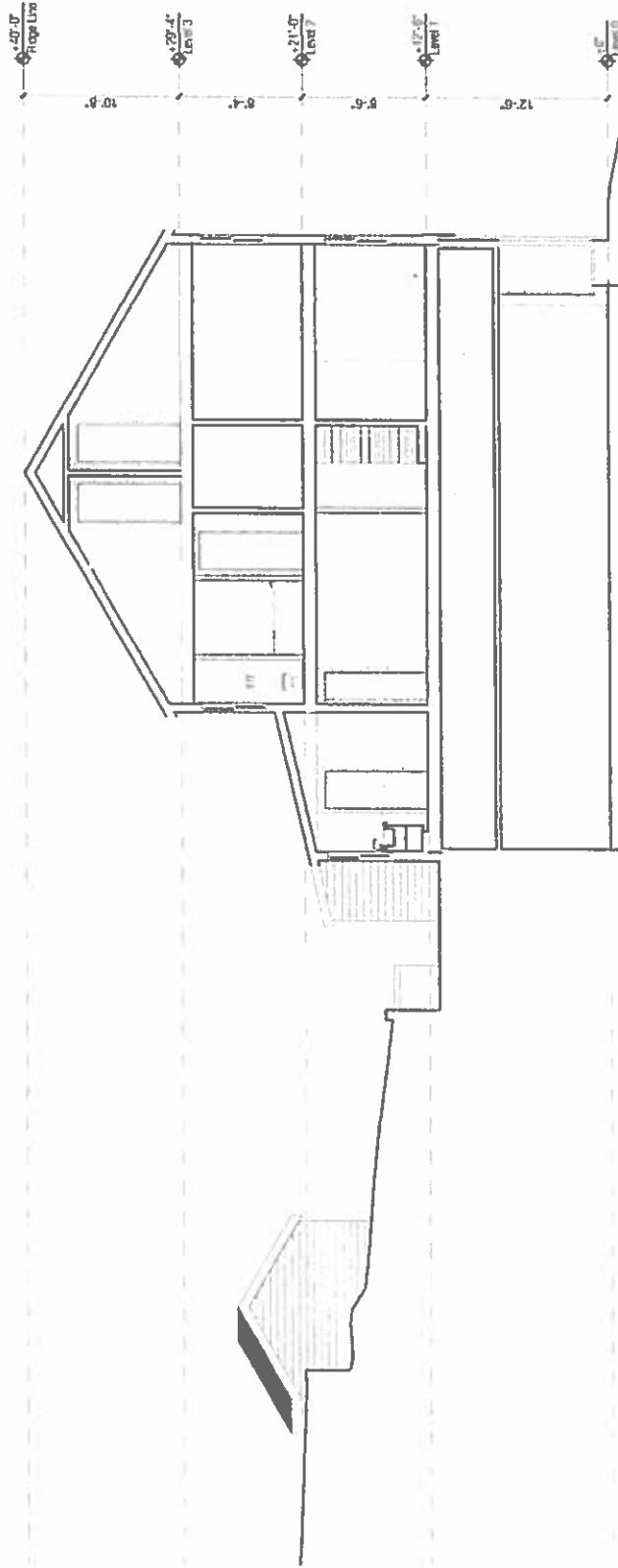
SHEET TITLE

EXISTING NORTHSOUTH
BUILDING SECTION 2

SHEET NUMBER

AE301

NOT FOR CONSTRUCTION



1 Existing Section
SCALE: 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street

65 High Street
Somerville, NH 03878

CLIENT

Some Downtown LLC

David H.M. Baker
98 Fairview Ave
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ARCHITECT



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CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/26/2018

SCALE AS NOTED

DRAWN BY AP

PROJECT NUMBER 147

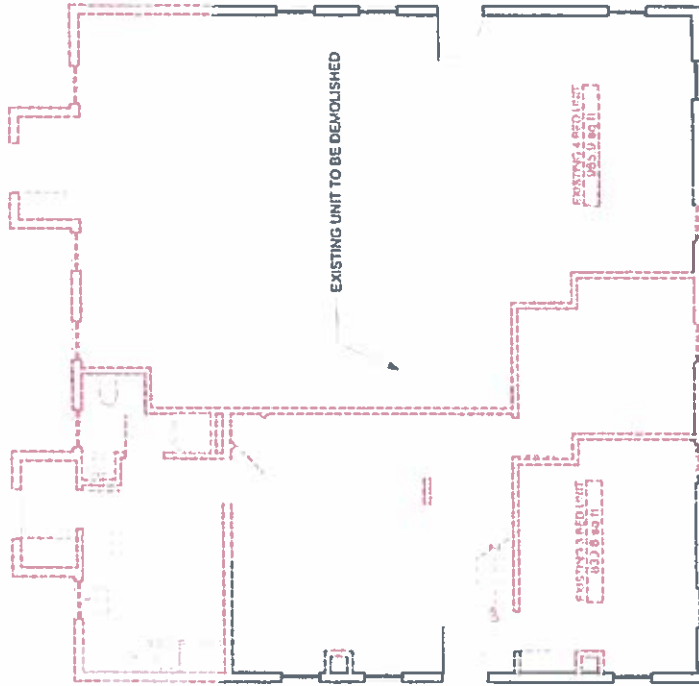
SHEET TITLE

DEMO PLANS

SHEET NUMBER

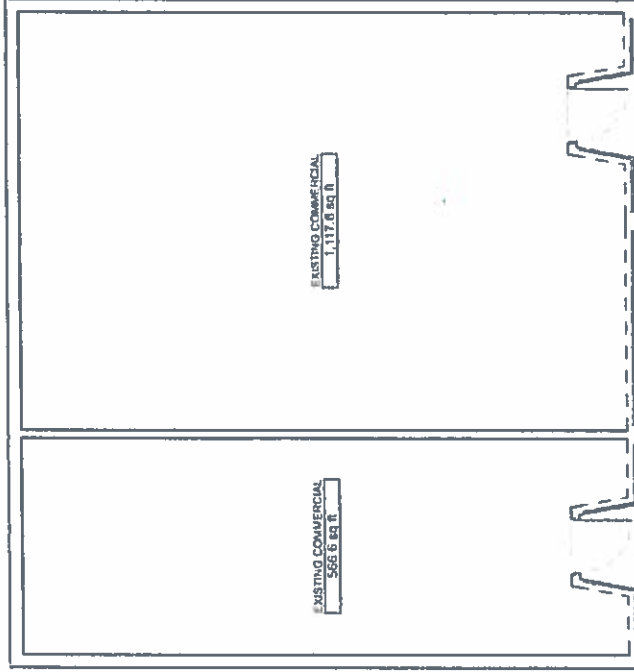
AD101

NOT FOR CONSTRUCTION



2 Demo Level 1
SCALE: 1/8" = 1'-0"

1 Demo Level 0
SCALE: 1/8" = 1'-0"



PROJECT NAME/LOCATION

65 High Street

65 High Street
Somersworth, NH 03078

CLIENT

Some Downtown LLC

Derek H.M. Baker

84 Fairview Ave
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ARCHITECT



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CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/25/2018

SCALE AS NOTED

DRAWN BY AP

PROJECT NUMBER 147

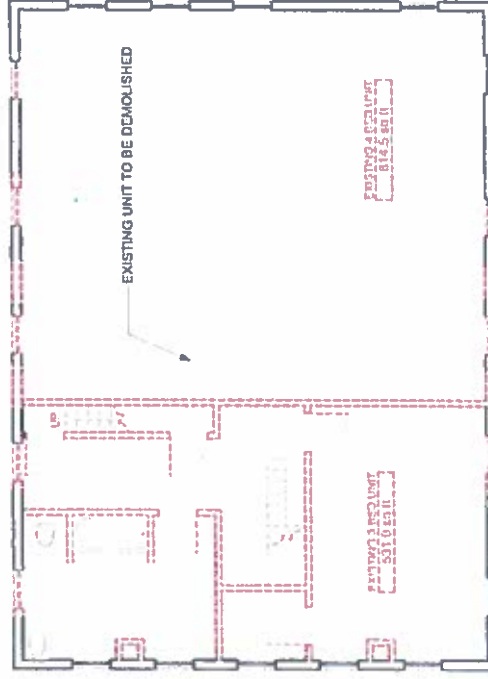
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DEMO PLANS

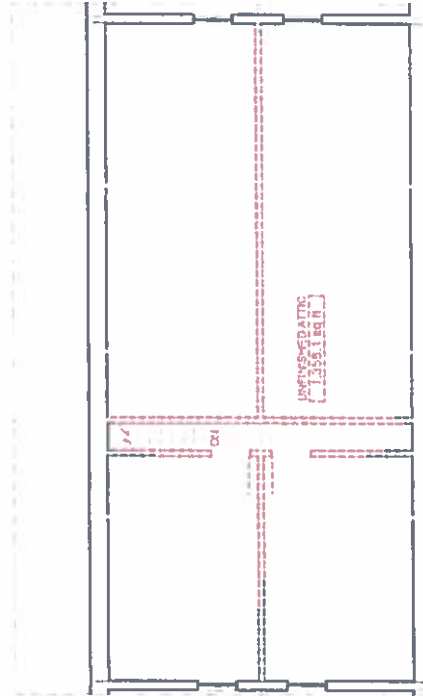
SHEET NUMBER

AD102

NOT FOR CONSTRUCTION



1 Demo Level 2
SCALE: 1/8" = 1'-0"



2 Demo Level 3
SCALE: 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somersworth, NH 03078

CLIENT

Some Downtown LLC
David H.M. Baker
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CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/26/2018
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PROJECT NUMBER 147

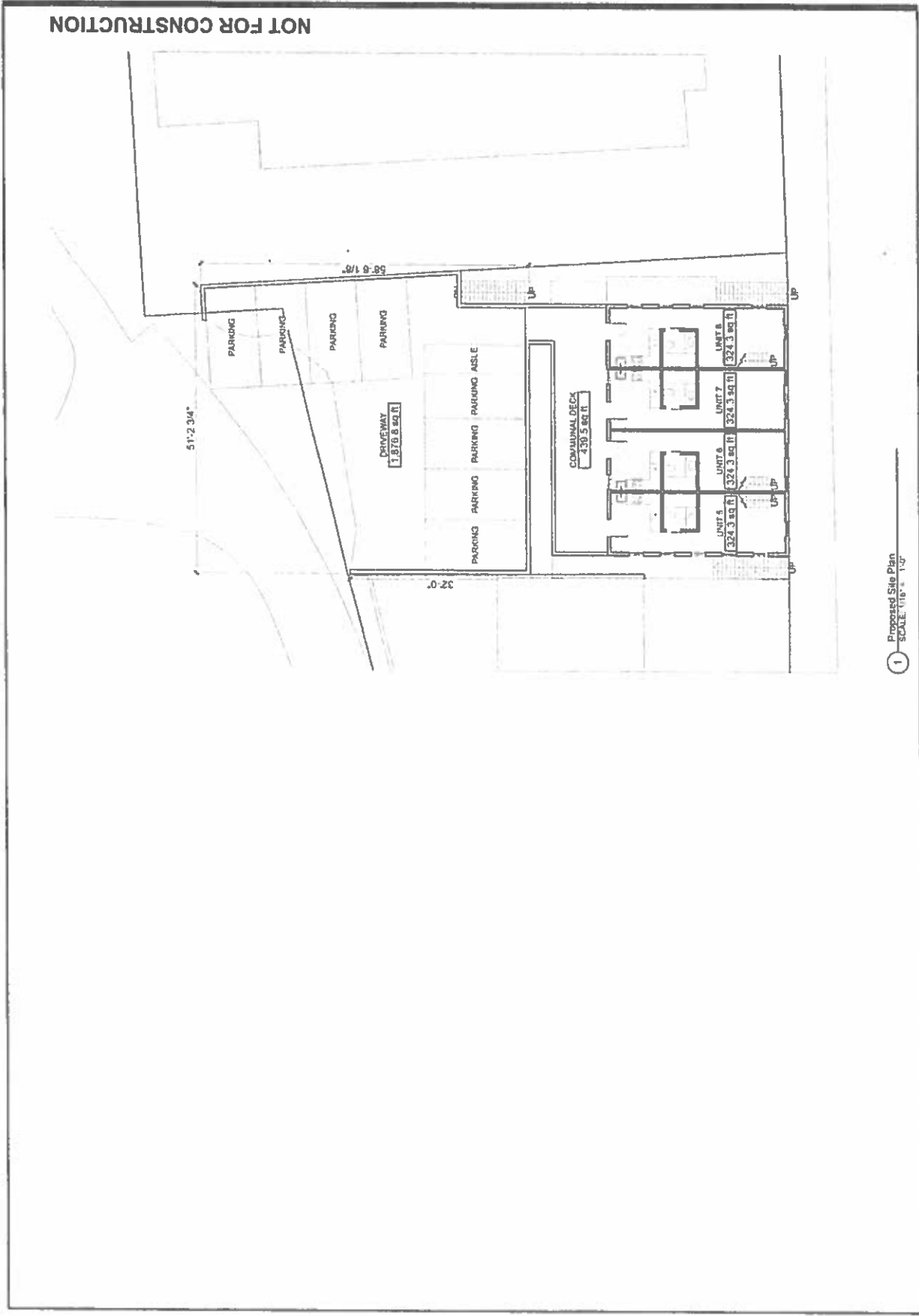
SHEET TITLE

PROPOSED SITE PLAN

SHEET NUMBER

A100

NOT FOR CONSTRUCTION



1 Proposed Site Plan
SCALE: 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somerset, NH 03878

CLIENT

Some Downtown LLC
David H.M. Baker
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ARCHITECT



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CONSULTANTS

PROJECT STATUS

Feasibility Study

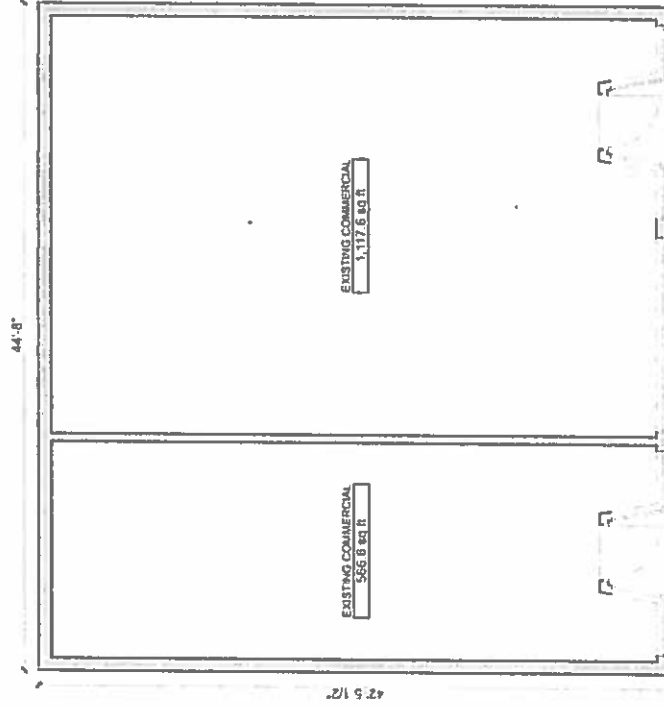
DATE 01/26/2019
SCALE AS NOTED
DRAWN BY AP
PROJECT NUMBER 147
SHEET TITLE

PROPOSED PLANS

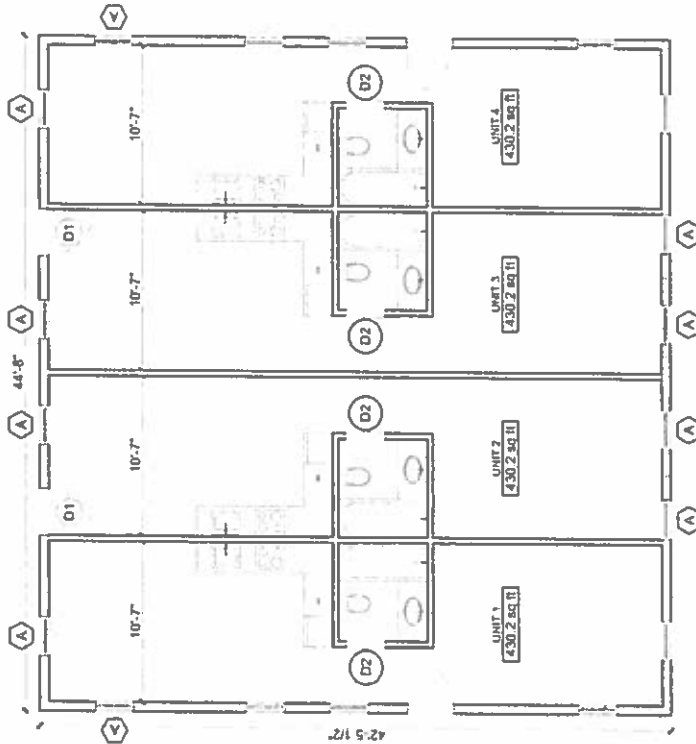
SHEET NUMBER

A101

NOT FOR CONSTRUCTION



1 Level 0
SCALE: 1/8" = 1'-0"



2 Level 1
SCALE: 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somersworth, NH 03378

CLIENT

Some Downtown LLC
David H.M. Baker
98 Fairview Ave
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ARCHITECT



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46 Waltham Street
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CONSULTANTS

PROJECT STATUS

Feasibility Study

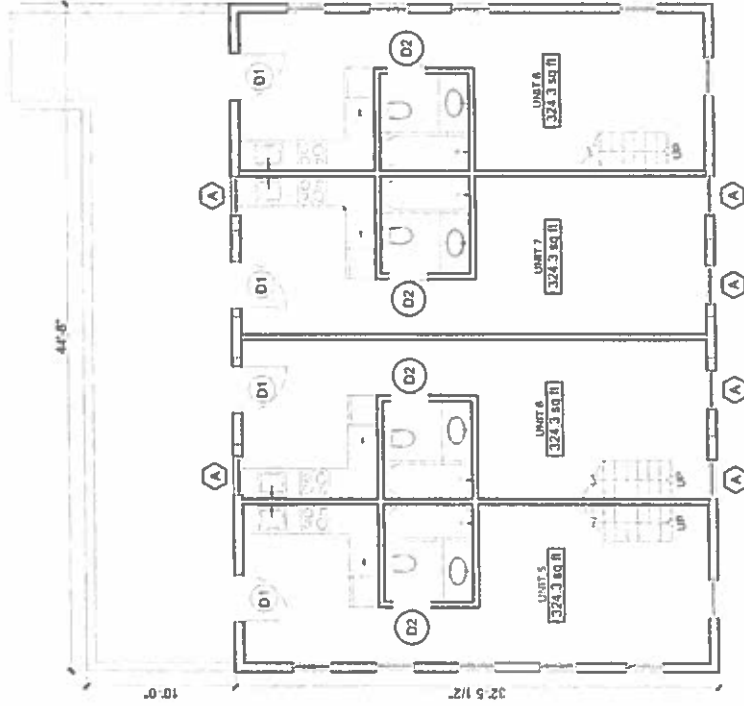
DATE 01/25/2012
SCALE AS NOTED
DRAWN BY J.S.
PROJECT NUMBER 147
SHEET TITLE

PROPOSED PLANS

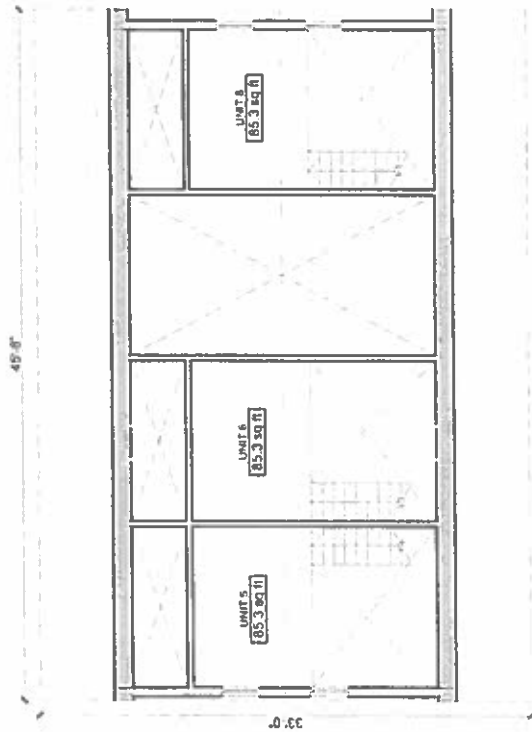
SHEET NUMBER

A102

NOT FOR CONSTRUCTION



1 Level 2
SCALE 1/8" = 1'-0"



2 Level 3
SCALE 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street

65 High Street
Somerville, NH 03878

CLIENT

Some Downtown LLC

David H.M. Baker
98 Fairview Ave
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ARCHITECT



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CONSULTANT

PROJECT STATUS

Feasibility Study

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SCALE AS NOTED

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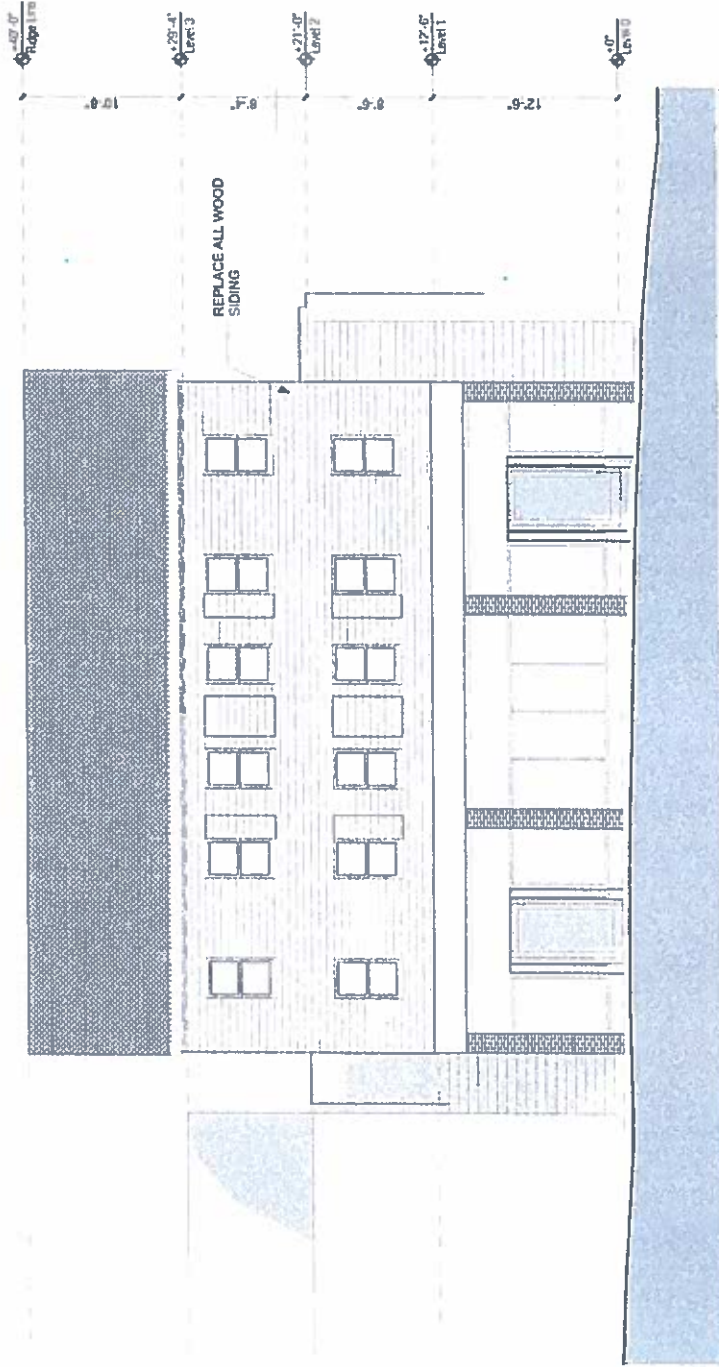
SHEET TITLE

PROPOSED SOUTH
ELEVATION

SHEET NUMBER

A200

NOT FOR CONSTRUCTION



1 South Elevation
SCALE: 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somersworth, NH 03878

CLIENT

Some Downtown LLC
David H.M. Baker
98 Fairview Ave
Portsmouth, NH 03801

ARCHITECT



over.under
48 Western Street
Cambridge One
Boston, Massachusetts 02118

+1 (617) 428-4466
info@overunder.co

CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 6/26/2018
SCALE AS NOTED
DRAWN BY AP
PROJECT NUMBER 147

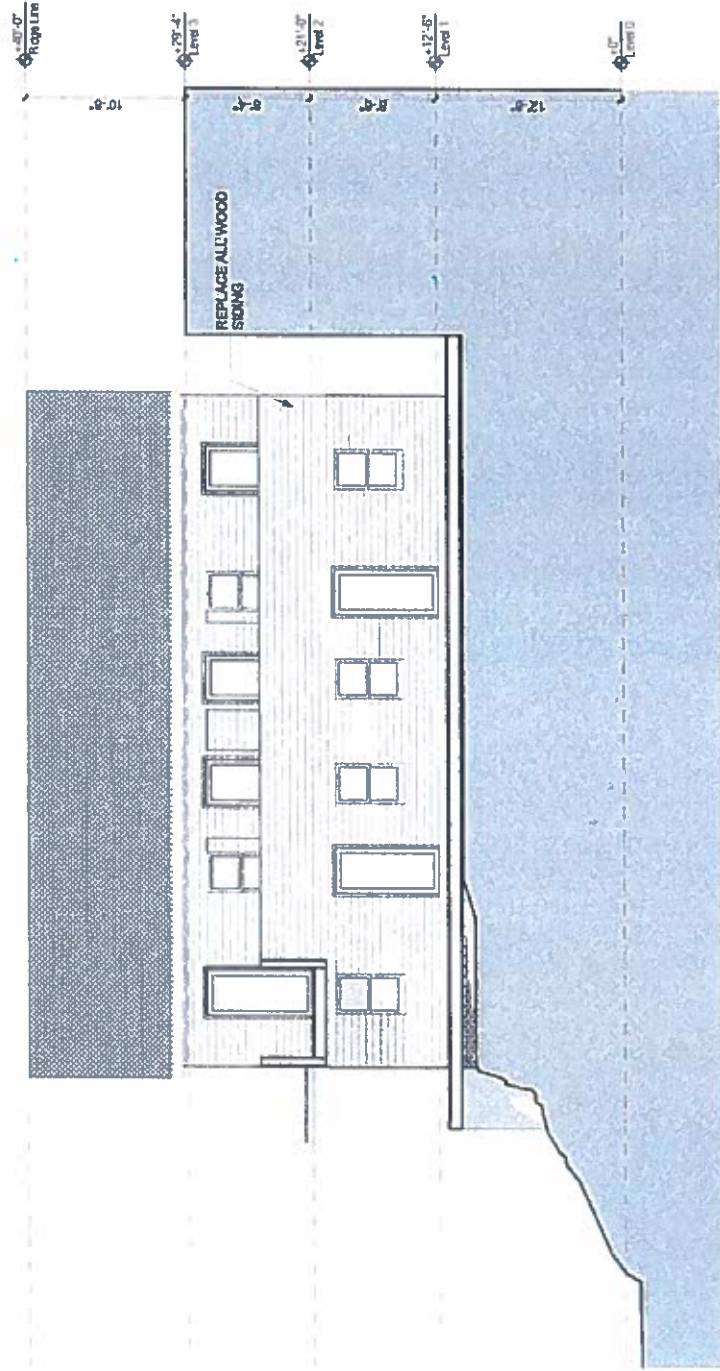
SHEET TITLE

PROPOSED NORTH
ELEVATION

SHEET NUMBER

A201

NOT FOR CONSTRUCTION



1 North Elevation
SCALE: 1/8" = 1'-0"

PROJECT NAME/LOCATION

85 High Street
85 High Street
Somersworth, NH 03878

CLIENT

Some Downtown LLC
David M.M. Baker
58 Falmouth Rd
Portsmouth, NH 03801

ARCHITECT



over,under

40 Washburn Street
Derry, NH 03041
Boston, Massachusetts 02118
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info@overunder.co

CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/26/2018
SCALE AS NOTED
DRAWN BY AP
PROJECT NUMBER 147

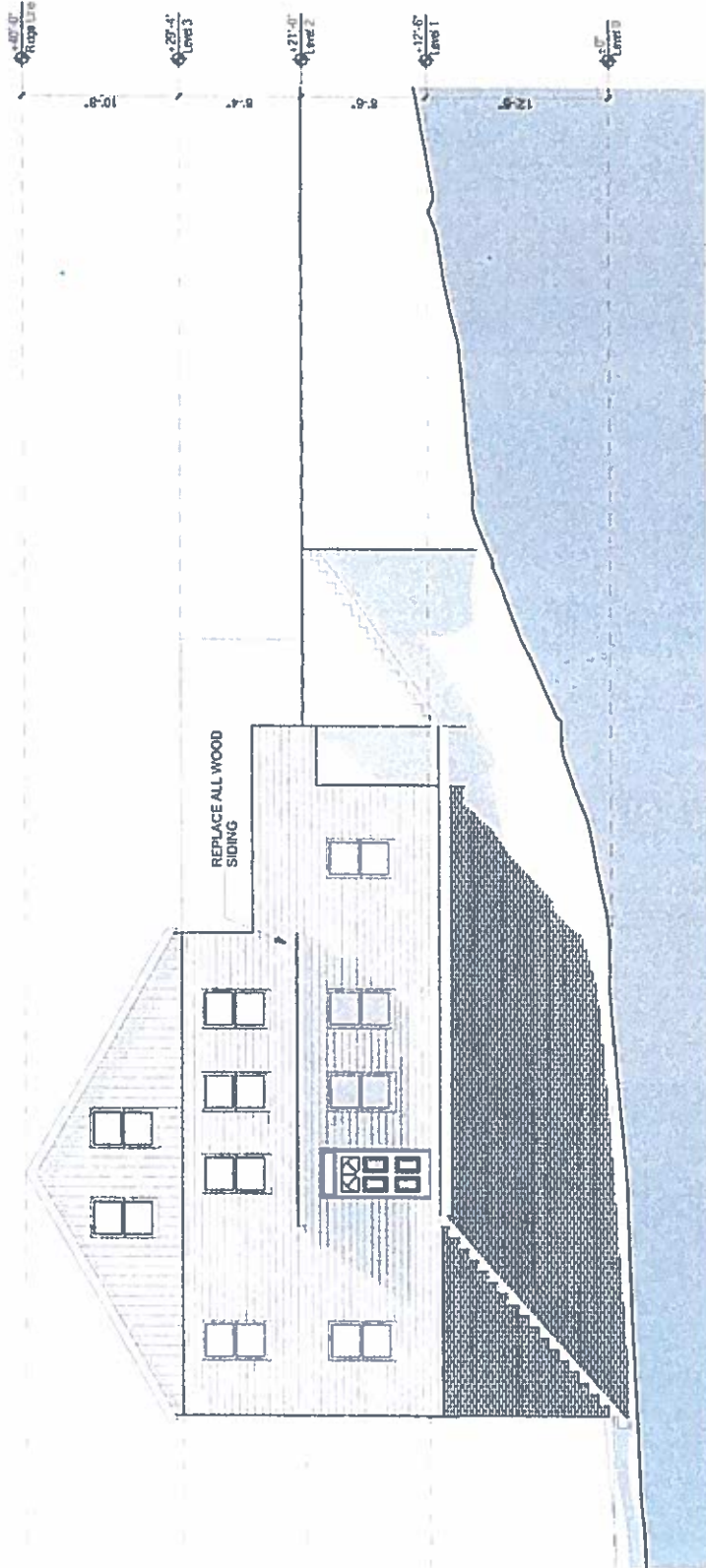
SHEET TITLE

**PROPOSED EAST
ELEVATION**

SHEET NUMBER

A202

NOT FOR CONSTRUCTION



1 East Elevation
SCALE: 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street

65 High Street
Somerset, NH 03878

CLIENT

Soma Downtown LLC

David H.M. Baker
88 Fairview Ave
Portsmouth, NH 03801

ARCHITECT



over,under

46 Waltham Street
Courtney One
Boston, Massachusetts 02118

+1 (617) 428-4468

info@overunder.co

CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/26/2018

SCALE AS NOTED

DRAWN BY AP

PROJECT NUMBER 147

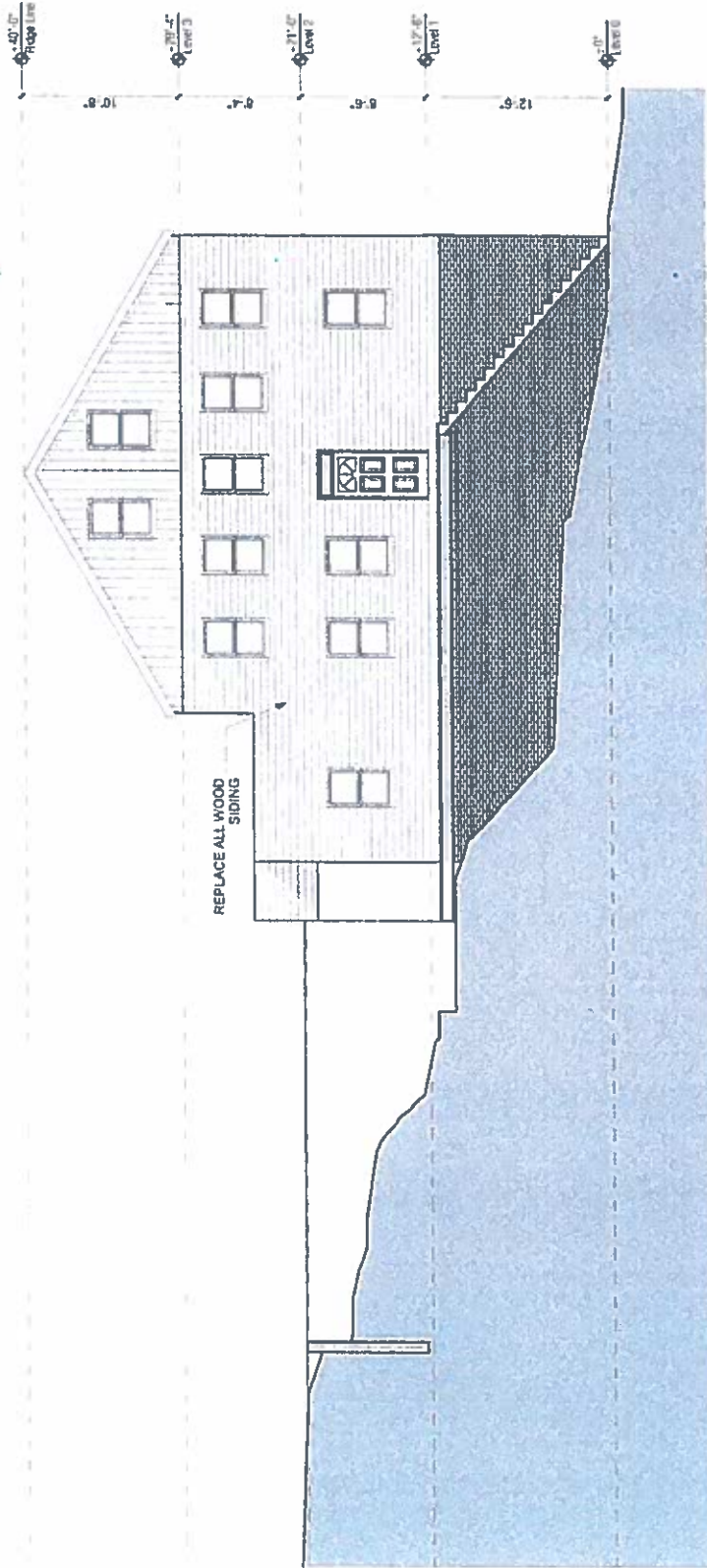
SHEET TITLE

PROPOSED WEST
ELEVATION

SHEET NUMBER

A203

NOT FOR CONSTRUCTION



PROJECT NAME/LOCATION

65 High Street
65 High Street
Somersworth, NH 03878

CLIENT

Some Downtown LLC
David H.A. Baker
56 Fairview Ave
Portsmouth, NH 03801

ARCHITECT



over,under

40 Williams Street
Cambridge, MA 02142
Boston, Massachusetts 02118
+1 (617) 428-4466
info@overunder.co

CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/28/2018
SCALE AS NOTED
DRAWN BY AP
PROJECT NUMBER 147

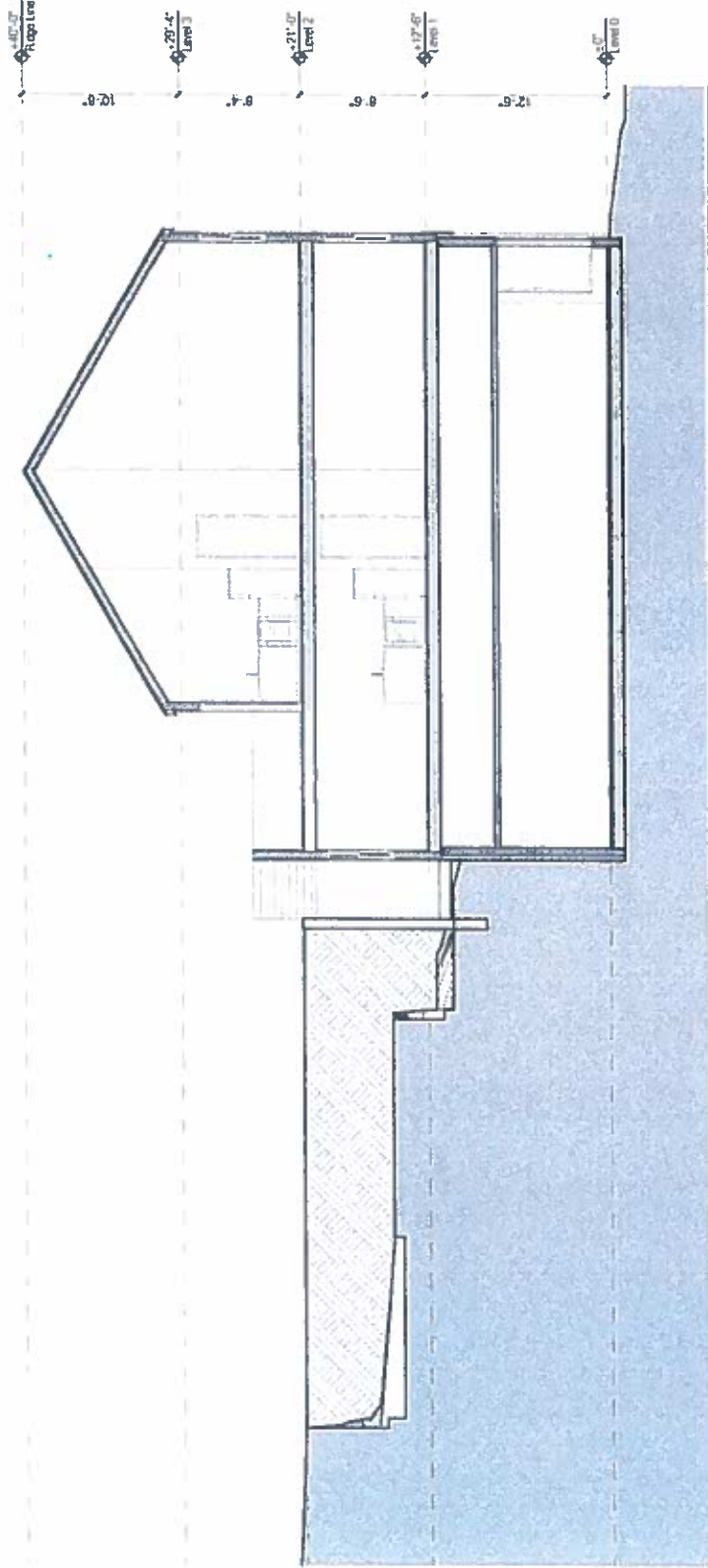
SHEET TITLE

**NORTHSOUTH BUILDING
SECTION**

SHEET NUMBER

A300

NOT FOR CONSTRUCTION



1 Proposed Section
SCALE: 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somersworth, NH 03878

CLIENT

Some Downtown LLC
David H.M. Baker
86 Fairview Avenue
Portsmouth, NH 03801

ARCHITECT



over,under
46 Walham Street
Courtyard One
Boston, Massachusetts 02118
+1 (617) 426-4456
info@overunder.co

CONSULTANTS

PROJECT STATUS

Feasibility Study

DATE 01/29/2018
SCALE AS NOTED
DRAWN BY AP
PROJECT NUMBER 117

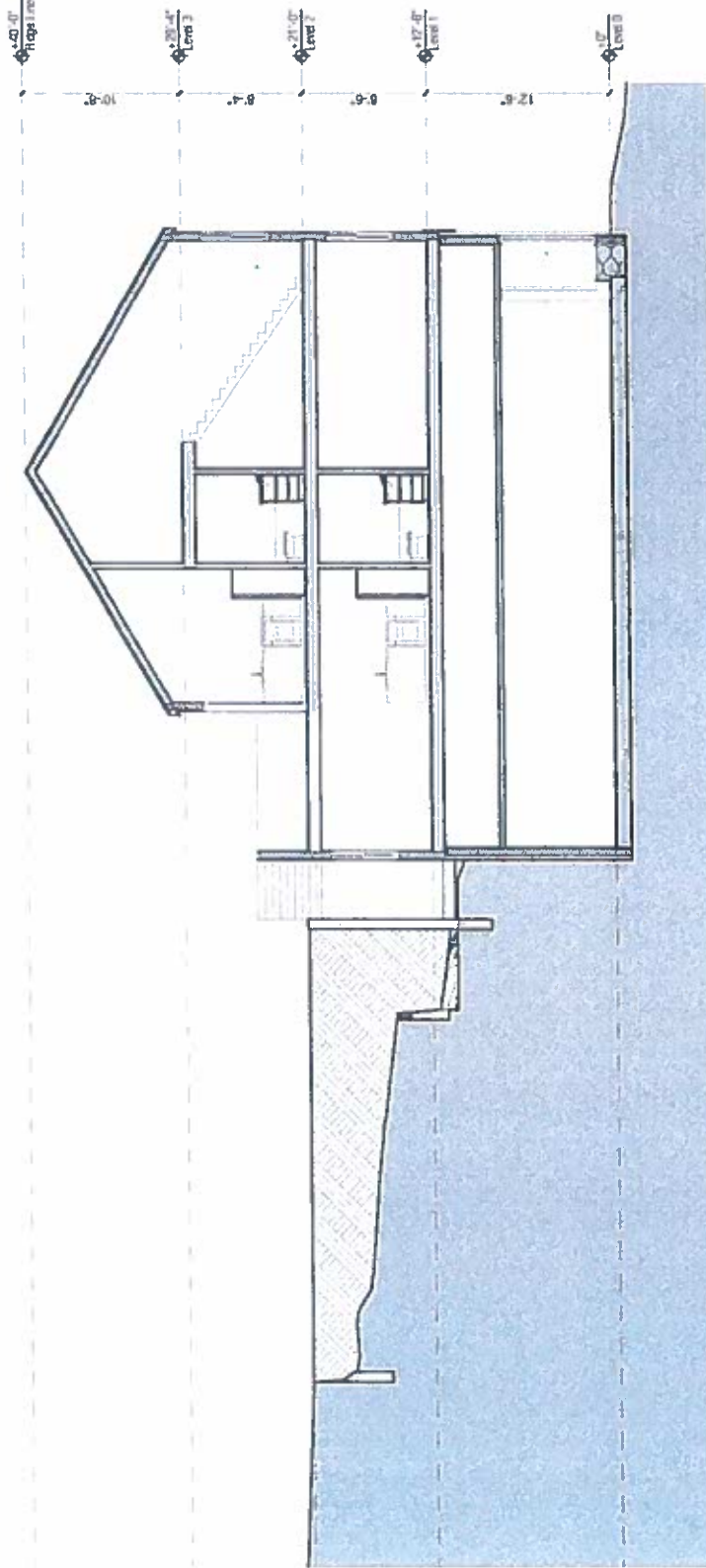
SHEET TITLE

NORTHSOUTH BUILDING
SECTION 2

SHEET NUMBER

A301

NOT FOR CONSTRUCTION



1 Proposed Section
SCALE: 1/8" = 1'-0"

PROJECT NAME/LOCATION

65 High Street

85 High Street
Somersworth, NH 03878

CLIENT

Some Downtown LLC

David H.M. Baker
98 Fairview Ave
Portsmouth, NH 03801

ARCHITECT



over, under

48 Waltham Street
Courtyard One
Boston, Massachusetts 02118

+1 (617) 426-4466
info@overunder.co

CONSULTANTS

NOT FOR CONSTRUCTION

WINDOW SCHEDULE				
ID	Type	Renovation Status	Quantity	Schedule Note
A	Double Hung	New	16	2'-5" x 4'-6"

DOOR SCHEDULE				
ID	Position	Type	Quantity	Schedule Note
D1	Exterior Swing	New	6	3'-0" x 7'-0"
D2	Interior Pocket	New	8	2'-6" x 7'-0"

PROPOSED BACK OF SITE IMPROVEMENTS		
LEVEL	ROOM NAME	AREA
Level 2		
	COMMUNAL DECK	439.5
	DRIVEWAY	1,876.8

PROPOSED ROOM AREAS		
LEVEL	ROOM NAME	AREA
Level 1		
	UNIT 1	430.2
	UNIT 2	430.2
	UNIT 3	430.2
	UNIT 4	430.2
		1,720.8 sq ft

Level 2		
	UNIT 5	324.3
	UNIT 6	324.3
	UNIT 7	324.3
	UNIT 8	324.3
		1,297.2 sq ft

Level 3		
	UNIT 5	85.3
	UNIT 6	85.3
	UNIT 8	85.3
		255.9 sq ft
		3,873.8 sq ft

DEMO ROOM AREAS		
LEVEL	ROOM NAME	AREA
Level 1		
	EXISTING 3 BED UNIT	939.8
	EXISTING 4 BED UNIT	995.9
		1,935.7 sq ft

Level 2		
	EXISTING 3 BED UNIT	531.9
	EXISTING 4 BED UNIT	914.5
		1,346.4 sq ft

Level 3		
	UNFINISHED ATTIC	1,358.1
		1,358.1 sq ft
		4,640.2 sq ft

EXISTING ROOM AREAS		
LEVEL	ROOM NAME	AREA
Level 0		
	EXISTING COMMERCIAL	568.6
	EXISTING COMMERCIAL	1,117.8
		1,686.4 sq ft

PROJECT STATUS

Feasibility Study

DATE 01/26/2018
SCALE AS NOTED
DRAWN BY AP
PROJECT NUMBER 147

SHEET TITLE

Schedules

SHEET NUMBER

A600

PROJECT NAME/LOCATION

65 High Street
65 High Street
Somersworth, NH 03878

CLIENT

Some Downtown LLC
Derek H.M. Baker
315 Main Street
Portsmouth, NH 03801

ARCHITECT



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45 Webster Street
Courtney Cline
Boston, Massachusetts 02118
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info@overunder.co

CONSULTANTS

PROJECT STATUS

Feasibility Study

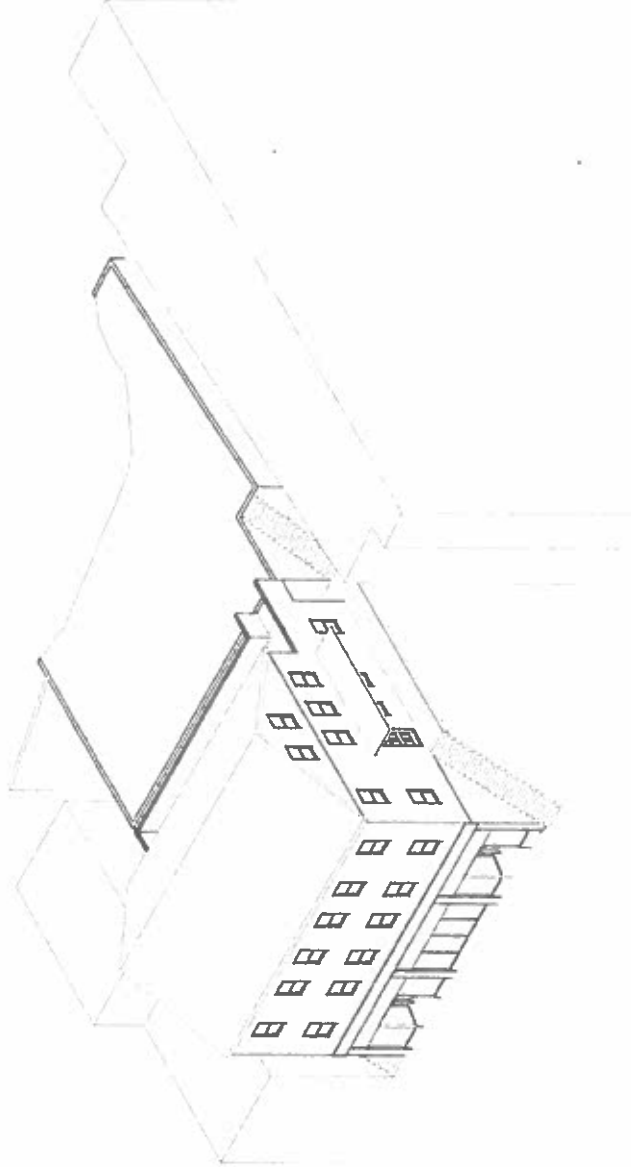
DATE	01/20/2011
SCALE	AS NOTED
DRAWN BY	AF
PROJECT NUMBER	147
SHEET TITLE	

PROPOSED AXON

SHEET NUMBER

A901

NOT FOR CONSTRUCTION



GCI Estimate Sheet

General Construction Inc.									
Estimating Detail									
Project: 88 High Street					Total Estimating \$/sq ft		Cust/SF		
Somersworth, NH					1270.8		\$218.65		
Rebuild Both Floors					1297.2		Total Est. Cost		
					255.9		\$715,832.91		
Code	Item	Quantity	Unit	Price	Amount	\$/sq ft	Sub-Total	Comments	Notes
1000	General Conditions				\$103,837.00	\$31.72	\$ -		
2000	Sitework & Demo				\$48,799.00	\$14.91	\$ -		
3000	Concrete				\$23,100.00	\$7.06	\$ -		
4000	Masonry				\$0.00	\$0.00	\$ -		
5000	Metals				\$15,000.00	\$4.58	\$ -		
6000	Carpentry				\$102,444.00	\$31.29	\$ -		
7000	Thermal & Moisture				\$38,852.25	\$11.87	\$ -		
8000	Doors & Windows				\$27,640.00	\$8.44	\$ -		
9000	Finishes				\$53,742.00	\$16.42	\$ -		
10000	Specialties				\$3,780.00	\$1.15	\$ -		
11000	Equipment				\$0.00	\$0.00	\$ -		
12000	Furnishings				\$67,930.00	\$20.75	\$ -		
13000	Special Construction				\$17,360.00	\$5.30	\$ -		
14000	Vertical Transportation				\$0.00	\$0.00	\$ -		
15000	Mechanical				\$87,000.00	\$26.57	\$ -		
16000	Electrical				\$30,284.50	\$9.25	\$ -		
17000	Contingency(Project)%	5%			\$30,988.44	\$9.47	\$ -	5.00%	
18000	OHP (%)	10%			\$65,075.72	\$19.88	\$ -	10.00%	
	A/E Fees(Incl reimb)				\$0.00	\$ -	\$ -		
	Other				\$0.00	\$ -	\$ -		
	Total Hard Costs				\$715,832.91	\$218.65	\$0.00		
1000	General Conditions								
	Permit	612	M	\$9.00	\$5,508.00	\$1.68			
	Insurance	612	M	\$4.00	\$2,448.00	\$0.75			
	Project Mgr/Estimating	0	LS	\$1,500.00	\$0.00	\$0.00	Incl w/ Super		
	Superintendent	100%	7	Mos	\$9,533.00	\$66,731.00	\$30.38	PM/Super	
	Testing/Insp/Survey	1	LS	\$1,000.00	\$1,000.00	\$0.31			
	Safety	7	LS	\$100.00	\$700.00	\$0.21			
	Field Office	0	Mos	\$100.00	\$0.00	\$0.00			
	Phone	0	Mos	\$100.00	\$0.00	\$0.00			
	Job Toilet	7	Mos	\$100.00	\$700.00	\$0.21			
	Copies, Postage, Messenger	2	LS	\$250.00	\$500.00	\$0.15			
	Const. Fence	0	LS	\$500.00	\$0.00	\$0.00			
	Temp Fire Protection	6	LS	\$75.00	\$450.00	\$0.14			
	Temporary Protection	6	LS	\$500.00	\$3,000.00	\$0.92			
	Temp. Heat	0	ls	\$250.00	\$0.00	\$0.00			
	Temp. Power	2	ls	\$550.00	\$1,100.00	\$0.34			
	General Labor	420	hr	\$30.00	\$12,600.00	\$3.85			
	Final Clean	1	LS	\$1,500.00	\$1,500.00	\$0.46			
	Rubbish Removal/Dumpsters	7	unit	\$650.00	\$4,550.00	\$1.39			
	Project Signage	1	LS	\$250.00	\$250.00	\$0.08			
	Vehicle	7	Mos	\$400.00	\$2,800.00	\$0.86			
	Other				\$0.00	\$ -			
	Subtotal General Conditions				\$103,837.00	\$31.72	\$0.00		
2000	Sitework & Demolition								
	Electric Service	M&L	1	LS	\$8,500.00	\$8,500.00	\$0.00		
	Water Service City Water	M&L	0	LS	\$25,000.00	\$0.00	\$0.00		
	Sewer Service (Septic)	M&L	0	LS	\$15,000.00	\$0.00	\$0.00		
	Paving/Stripe	M&L	1877	sf	\$4.00	\$7,508.00	\$2.29		
	Sidewalks	M&L	208	sf	\$4.50	\$936.00	\$0.29		
	Excavation & Backfill	M&L	1	LS	\$11,000.00	\$11,000.00		At rear stairs	
	Demo in existng	M&L	4530	sf	\$3.50	\$15,855.00			
	Tree Removal		1	LS	\$5,000.00	\$5,000.00			
	Other								
	Subtotal Sitework & Demo				\$48,799.00	\$14.91			
3000	Concrete								
	Concrete Foundations	10"x4"	143	If	\$150.00	\$21,450.00	\$6.55		
	Footings	1' x 2'	11	CY	\$150.00	\$1,650.00	\$0.50		
	Slabs (5" average")	M&L	0	sf	\$5.00	\$0.00	\$0.00		
	Other								
	Subtotal Concrete				\$23,100.00	\$7.06			
4000	Masonry								
	Maonry repair	M&L		ls	\$5,000.00	\$0.00	\$0.00		

	Other								
	Subtotal Masonry					\$0.00	\$0.00		
7000	Metals								
	Misc Iron, Lintels, railings et	M&L	6	ls	\$2,500.00	\$15,000.00	\$4.58	cantilevered parking/handrails	
	Other								
	Subtotal Metals					\$15,000.00	\$1.09		
6000	Carpentry								
	6100 Rough Carpentry								
	Rough Carpentry Labor		3274	sf	\$10.00	\$32,740.00	\$10.00		
	Rough Carpentry Mat		3274	sf	\$12.00	\$39,288.00	\$12.00		
	First Floor Rough Carpentry	M&L	0		\$16.00	\$0.00			
	Lull Rental		0	Mos	\$2,200.00	\$0.00	\$0.00		
	Roof Decks		440	sf	\$28.00	\$12,320.00	\$3.76		
	Beam & Column Repair		1	ls	\$5,000.00	\$5,000.00	\$1.53		
	Subtotal Framing				\$89,348.00				
	6200 Finish Carpentry								
	Labor	L	3274	sf	\$2.00	\$6,548.00	\$2.00		
	Material	M	3274	sf	\$2.00	\$6,548.00			
	Other								
	Subtotal Carpentry					\$102,444.00	\$31.29		
7000	Thermal & Moisture								
	Ext. Caulking/Sealing	M&L	2	ls	\$500.00	\$1,000.00	\$0.31		
	Int Caulking	M&L	2	p/u	\$250.00	\$500.00	\$0.15		
	Waterproofing Elev Pits	M&L	0	ls	\$5,000.00	\$0.00	\$0.00		
	Attic Blown -in	M&L	540	sf	\$0.90	\$486.00	\$0.15		
	Bldg Insul.	M&L	3240	sf	\$0.80	\$2,592.00	\$0.79		
	Sound insulation	M&L	5406	sq	\$0.75	\$4,054.50	\$1.24		
	Roofing Including Green Ro	M&L	0	sq	\$2,600.00	\$0.00	\$0.00		
	Asphalt Shingles	L	1800	sf	\$1.20	\$2,160.00	\$0.66		
	Firestopping	M&L	1	ls	\$1,000.00	\$1,000.00	\$0.31		
	Vinyl siding	M&L	3253	sf	\$5.75	\$18,704.75	\$5.71		
	Membrane Roof	M&L	570	sf	\$10.00	\$5,700.00	\$1.74		
	Aluminum Trim	M&L	210	lf	\$5.50	\$1,155.00	\$0.35		
	Gutters	M&L	150	lf	\$10.00	\$1,500.00	\$0.46		
	Other								
	Subtotal Thermal & Moisture					\$38,852.25	\$11.87		
8000	Doors & Windows								
	Pocket Doors		8	ea	\$150.00	\$1,200.00	\$0.37		
	Door/Hdwre Inst. Labor		16	mh	\$55.00	\$880.00	\$0.27		
	Exterior Doors/Hdwre		8	ea	\$1,050.00	\$8,400.00	\$2.57		
	Windows		39	ea	\$385.00	\$15,015.00	\$4.59		
	Window Installation		39	ea	\$55.00	\$2,145.00	\$0.66		
	Interior Fixed/Sliding Glass		0	sf	\$25.00	\$0.00	\$0.00		
	Aluminum Storefront @Lobby	M&L	0	sf	\$65.00	\$0.00	\$0.00		
	Aluminum Storefront 1st Flr		0	sf	\$65.00	\$0.00			
	Other								
	Subtotal Doors & Windows					\$27,640.00	\$8.44		
9000	Finishes								
	9255 Gyp Bd Partitions								
	Gyp Bd Walls	M&L	9168	sf	\$1.35	\$12,376.80	\$3.78		
	Gyp Ceilings	M&L	3274	sf	\$1.35	\$4,419.90			
	Shaft Wall	M&L	0	sf	\$7.55	\$0.00	\$0.00		
	Accoustical Ceilings	M&L	200	sf	\$3.25	\$650.00	\$0.20		
	9300 Flooring								
	Sealed Concrete	M&L	0	sf	\$1.00	\$0.00	\$0.00		
	Carpeting	M&L	400	sf	\$3.00	\$1,200.00	\$0.37		
	Wood		3018	sf	\$6.00	\$18,108.00	\$10.52		
	Ceramic Tile	M&L	400	lf	\$8.00	\$3,200.00	\$0.03		
	Vinyl base	M&L	0	lf	\$1.10	\$0.00	\$0.00		
	9900 Painting								
	Gyp Bd Partitions/Clns	M&L	12442	sf	\$0.65	\$8,087.30	\$2.47		
	Interior Trim	M&L	1450	lf	\$2.00	\$2,900.00	\$0.89		
	Interior Doors/Frames	M&L	4	ea	\$75.00	\$300.00	\$0.09		
	Exterior Painting	M&L	1	ls	\$2,500.00	\$2,500.00	\$0.76		
	Other								
	Subtotal Finishes					\$53,742.00	\$16.42		

GCI Estimate Sheet

10000	Specialties							
	Toilet partitions	M&L	0	ea	\$1,175.00	\$0.00	\$0.00	
	Directories	M&L	1	ea	\$600.00	\$600.00	\$0.18	
	Signage	M&L	0	LS	\$3,000.00	\$0.00	\$0.00	
	Fire Equip Cab/Extinguisher	M&L	2	ea	\$300.00	\$600.00	\$0.18	
	Mail Delivery Systems	M&L	1	ea	\$500.00	\$500.00	\$0.15	
	Mirrors	M&L	8	ea	\$125.00	\$1,000.00	\$0.31	
	Paper towel dispensers	M&L		ea	\$25.00	\$0.00	\$0.00	
	TPH	M&L	8	ea	\$25.00	\$200.00	\$0.06	
	ADA Grab Bars	M&L		ea	\$275.00	\$0.00	\$0.00	
	Installation labor		16	MH	\$55.00	\$880.00	\$0.27	
	Other							
	Subtotal Specialties					\$3,780.00	\$1.15	
11000	Equipment							
	Other		0	ls		\$0.00	\$0.00	
	Subtotal Equipment					\$0.00	\$0.00	
12000	Furnishings							
	Kitchen Cabinets		144	lf	\$350.00	\$50,400.00	\$15.39	
	Kitchen Counters	Incl G256	288	sf	\$50.00	\$14,400.00	\$4.40	
	Vanities & tops	Incl G256	8	ea	\$200.00	\$1,600.00	\$0.49	
	Installation labor		8	mh	\$45.00	\$360.00	\$0.11	
	Window Treatments	M&L	39	M/L	\$30.00	\$1,170.00	\$0.96	
	Custom Cabinetry	M&L	0	lf	\$350.00	\$0.00	\$0.00	
	Other							
	Subtotal Furnishings					\$67,930.00	\$20.75	
13000	Special Construction							
	Fire Protection	M&L	4960	sf	\$3.50	\$17,360.00	\$5.30	
	Other							
	Subtotal Special Construction					\$17,360.00	\$5.30	
14000	Vertical Transportation							
	Elevator	M&L	0	ea	\$68,000.00	\$0.00	\$0.00	Lula
	Other							
	Subtotal Vertical Transportation					\$0.00	\$0.00	
15000	Mechanical							
	Plumbing	M&L	40	fixtures	\$1,650.00	\$66,000.00	\$20.16	
	HVAC		6	LS	\$3,500.00	\$21,000.00	\$6.41	
	Other		2	LS	\$1,000.00	\$2,000.00		move existing hvac
	Subtotal Mechanical					\$87,000.00	\$26.57	
16000	Electrical							
	Electrical	M&L	3274	sf	\$8.25	\$27,010.50	\$8.25	
	Fixtures		3274	sf	\$1.00	\$3,274.00	\$1.00	
	Parking Lot Lighting		0	LS	\$20,000.00	\$0.00	\$0.00	
	Other							
	Subtotal Electric					\$30,284.50	\$9.25	



USER DEFINED
Prior Id #1: 1213
Prior Id #2:
Prior Id #3:
Prior Id #1:
Prior Id #2:
Prior Id #3:
Prior Id #1:
Prior Id #2:
Prior Id #3:
ASR Map:
Fact Dist:
Reval Dist:
Year:
Land Reason:
Bld Reason:

PRINT
Date Time
09/18/18 16:12:09
LAST REV
Date Time
02/26/18 14:25:58
dubois
381

PAT ACCT.
Notes

HEIRS SOLD/QUICK SALE
PROBATE DOCKET # 2004-0729

IN PROCESS APPRAISAL SUMMARY

Use Code Building Value Yard Items Land Size Land Value Total Value User Acct
104 95,970 1,100 0.066 44,030 141,100 F5
325 41,130 0.028 18,970 60,000

Total Card 137,100 1,100 0.094 62,900 201,100
Total Parcel 137,100 1,100 0.094 62,900 201,100
Source: Market Adj Cost Total Value per SQ unit /Card: 43.57 /Parcel: 43.57
Land Unit Type: 12/01/17

Entered Lot Size
Total Land:
Land Unit Type:

PREVIOUS ASSESSMENT
Tax Yr Use Cat Bldg Value Yrd Items Land Size Land Value Total Value Asses'd Value Notes Date
2017 013 FV 136,100 1,100 0.094 62,900 200,100 Year End Roll 11/14/2017
2016 013 FV 134,900 1,100 0.094 62,900 198,900 Year End Roll 10/25/2016
2015 013 FV 134,900 1,100 0.094 62,900 198,900 year end 10/26/2015
2014 013 FV 134,900 1,100 0.094 62,900 198,900 YEAR END ROLL 11/4/2014
2013 013 FV 125,500 1,100 0.094 62,900 262,200 Year End Roll 11/8/2013
2012 013 FV 96,300 1,100 0.094 62,900 233,000 11/2/2012
2011 013 FV 96,300 1,100 0.094 62,900 233,000 year end roll 12/7/2012
2010 013 FV 96,300 1,100 0.094 62,900 233,000 Year End Roll 1/7/2011

SALES INFORMATION
Grantor Legal Ref Type Date Sale Price V Tst Verif Assoc PCL Value Notes
SAI REAL ESTATE 4474-0191 5/5/2017 250,000 No No
DOAN TONY C/NA 4385-0464 5/31/2016 187,500 No No
SCHOOLHOUSE MEA 4044-0861 8/17/2012 COMP COMM 155,000 No No
BRUNO JEANETTE 3336-843 2/28/2006 OTHER 220,000 No No
ROY MILDRED T. 923-268 1/5/2005 FAMILY 0 No No
4/21/1973 13,000 No No

BUILDING PERMITS
Date Number Descr Amount C/O Last Visit Fed Code F. Descr Comment
10/3/2017 M2017137 MANUAL 15,000 C CONDENSORS
6/14/2017 M2017072 MANUAL 13,000 C 17000 BTU
6/12/2017 M2017073 MANUAL 5,500 C 18000 BTU
3/1/2017 M2017026 MANUAL 99 C SWAP TANKS
6/25/2013 E-2013-73 ELECTRIC 400 C EXIT SIGN/EMERGENCE
12/7/2012 B-2012-186 RENOVATI 2,000 C
11/9/2012 M-2012-064 RENOVATI 300 C
10/18/2012 M-2012-052 RENOVATI 650 C
10/10/2012 P-2012-036 PLUMBING 3,000 C
10/9/2012 E-2012-092 ELECTRIC 3,500 C

PROPERTY FACTORS
Item Code Descr % Item Code Descr
Z BH 100 U i TPCL
o t
n i
Census: Exmpt
Flood Haz: Topo
D 1 100 Street
s Traffic
i

LAND SECTION (First 7 lines only)
Use Description LUC No of Units Depth / Price/Unit Unit Type Land Type LT Factor Base Value Unit Price Adj Neigh Neigh Mod Neigh Infru
104 2 FAMILY 4108 SQUARE FESITE 0 7 2 187 DT OTHER -10

ACTIVITY INFORMATION
Date Result By Name
12/1/2017 PERMIT VISIT 750 JARED HYNES
11/28/2017 FIELD REVIEW 748 B HATHORN
11/1/2017 FIELD REVIEW 743 RON DOYON
9/6/2016 MEASURED 748 B HATHORN
7/1/2014 FIELD REVIEW 743 RON DOYON
11/14/2013 PERMIT VISIT 748 B HATHORN
4/1/2013 MEASURED 743 RON DOYON
10/12/2012 MEASURED 748 B HATHORN
8/16/2012 INSPECTED 742 TIM COURNOYE

Appraised Value Class % Land
62,889 325 30
62,900

Sign: / /

Total: 62,889 Spl Credit Total 62,900

Database: AssessPro

11 63A 0
Map Block Lot

1 of 1 COMMERCIAL
CARD

City of Somersworth - NH

1381!

City of Somersworth - NH

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CHAPTER 31

COMMUNITY REVITALIZATION TAX RELIEF INCENTIVE

State Law References: Community Revitalization Tax Relief Incentive, RSA 79-E, State Economic Growth, Resource Protection and Planning Policy, RSA 9-B, Appraisal of Taxed Property, RSA 75:1, Collection of Taxes, RSA 80:1-80:42-a, and Administrative Procedure Act, RSA 541-A.

Section Declaration of Public Benefit

- A. It is declared to be a public benefit to enhance Somersworth's Downtown Revitalization District with respect to economic activity, cultural and historic character, sense of community, and in-town residential uses that contribute to economic and social vitality.
- B. It is further declared to be a public benefit to encourage the rehabilitation of underutilized structures in the downtown as a means of encouraging growth of economic, residential, and municipal uses in a more compact pattern, in accordance with RSA 9-B.
 - 1. In instances where a qualifying structure is determined to possess no significant historical, cultural, or architectural value and for which the City Council makes a specific finding that rehabilitation would not achieve one or more of the public benefits established in Chapter 31, Section 7 to the same degree as the replacement of the underutilized structure with a new structure, the tax relief incentives provided under this chapter may be extended to the replacement of an underutilized structure in accordance with the provisions of this chapter.
- C. Short-term property assessment tax relief and a related covenant to protect public benefit as provided under this ordinance are considered to provide a demonstrated public benefit if they encourage the substantial rehabilitation and use of qualifying structures, or in certain cases, the replacement of a qualifying structure, as defined in this ordinance .

Section 2 Tax Relief Authority

The City of Somersworth hereby adopts RSA 79-E in the manner specified under RSA 79-E:3. In addition, the City has modified the incentive program to best suit the needs of the City and its constituents.

Section 3 Definitions

In the interpretation and enforcement of this article, all words other than those defined specifically below shall have the meanings implied by their context in the ordinance or the ordinarily accepted meanings. For the purpose of this ordinance, the following definitions shall apply unless the context clearly indicates or requires a different meaning.

Covenant. A formal and legally binding agreement or contract such as a lease, or one of the clauses in an agreement of this kind.

Qualifying Structure. A building located in the Downtown Revitalization District as depicted on the Official RSA 79:E Map of the City of Somersworth dated February 2013 and incorporated herein as Appendix A.

Replacement. The demolition or removal of a qualifying structure and the construction of a new structure on the same lot.

Substantial Rehabilitation. Rehabilitation of a qualifying structure which costs at least 15 percent of the pre-rehabilitation assessed valuation or at least \$75,000, whichever is less.

Tax increment finance district. Any district established in accordance with the provisions of NH RSA 162-K.

Tax Relief. A period of time, as determined by the City Council in accordance with this ordinance, the property tax on a qualifying structure shall not increase as a result of the substantial rehabilitation thereof.

Tax Relief Period. The finite period of time during which the tax relief will be effective, as determined by the City Council pursuant to Chapter 19, Sec. 19-20.

Section 4 Community Revitalization Tax Relief Incentive

A. An owner of a qualifying structure who intends to substantially rehabilitate or replace such structure may apply to the City Council through the Department of Development Services. The applicant shall file a complete application form including the address of the property, a description of the intended rehabilitation or replacement, any changes in use of the property resulting from the rehabilitation or replacement, and submit the required non-refundable application fee of \$50.

1. In order to assist the City Council with the review and evaluation of an application for replacement of a qualifying structure, an owner shall submit to the City Council as part of the application, a New Hampshire Division of Historical Resources Individual Resource Inventory Form, prepared by a qualified architectural historian and if the qualifying structure is located within a designated historic district established in accordance with NH RSA 674:46, a letter from the Somersworth Historic District Commission that identifies any and all historical, cultural, and architectural value of the structure or structures that are proposed to be replaced and the property on which the structure(s) are located. The application for tax relief shall not be deemed to be complete and the City Council shall not schedule the public hearing on the application for replacement of a qualifying structure as required under NH RSA 79-E:4,II until the inventory form and letter, as well as other required information, have been submitted.

B. Upon receipt of an application, the application will be reviewed by the Director of Planning and Community Development and any other City official deemed appropriate by the Director for any compliance issues. The applicant must satisfactorily answer any questions they may have for the application to be deemed complete.

- C. The City Council will hold a duly noticed public hearing to take place no later than 60 days from receipt of an application, to determine whether the structure at issue is a qualifying structure; whether the proposed rehabilitation qualifies as substantial rehabilitation; and whether there is a public benefit to granting the requested tax relief and, if so, for what duration.
- D. No later than 45 days after the public hearing, the City Council shall render a decision granting or denying the requested tax relief and, if so granting, establishing the tax relief period.
- E. The City Council may grant the tax relief, provided:
1. The City Council grants the request by a majority vote; and
 2. The City Council finds a public benefit under Chapter 31, Section 7; and
 3. The specific public benefit is preserved through a covenant under Chapter 31, Section 8; and
 4. The City Council finds that the proposed use is consistent with the municipality's master plan and development regulations; and
 5. In the case of a replacement, the City Council specifically finds that the Somersworth Historic District Commission has determined that the replaced qualifying structure does not possess significant historical, cultural, or architectural value, the replacement of a qualifying structure will achieve one or more of the public benefits identified in Chapter 31, Section 7 to a greater degree than the renovation of the underutilized structure, and the historical, cultural, or architectural resources in the community will not be adversely affected by the replacement.
- F. If the City Council grants the tax relief, they shall identify the specific public benefit achieved under Chapter 31, Section 7 and shall determine the precise terms and duration of the covenant to preserve the public benefit under Chapter 31 Section 8.
- G. If the City Council, in its discretion, denies the application for tax relief, such denial shall be accompanied by a written explanation. The City Council's decision may be appealed either to the board of tax and land appeals or the superior court in the same manner as provided for appeals of current use classification pursuant to RSA 79-A:9 or 79-A:11 provided, however, that such denial shall be deemed discretionary and shall not be set aside by the board of tax and land appeals or the superior court except for bad faith or discrimination.
- H. The City Council shall have no obligation to grant an application for tax relief for properties located within a tax increment finance district when the City Council determines, in its sole discretion, that the granting of tax relief will impede, reduce, or negatively affect:
1. The development program or financing plans for such tax increment finance districts; or
 2. The ability to satisfy or expedite repayment of debt service obligations incurred for a tax increment finance district; or
 3. The ability to satisfy program administration, operating, or maintenance expenses within a tax increment financing district.

Section 5 Duration of Tax Relief Period

A. The City Council may grant such tax assessment relief for a period of up to 5 years, beginning with the completion of the substantial rehabilitation.

1. For the approval of a replacement of a qualifying structure, the City Council may grant such tax assessment relief for a period of up to five years, beginning only upon the completion of construction of the replacement structure. The City Council may, in its discretion, extend such additional years of tax relief as provided for under this section, provided that no such additional years of tax relief may be provided prior to the completion of construction of the replacement structure. For the purposes of this section, the issuance of a Certificate of Occupancy shall constitute completion of construction. The municipal tax assessment of the replacement structure and the property on which it is located shall not increase or decrease in the period between the approval by the City Council for the replacement structure and the time the owner completes construction of the replacement structure and grants to Somersworth the covenant to protect the public benefit as required by this chapter. The City Council may not grant any tax assessment relief under this chapter with respect to property and structures for which an election has been made for property appraisal under NH RSA 75:1-a.

B. The City Council may, in its discretion, add up to an additional 2 years of tax relief for a project that results in new non-subsidized residential units if the rehabilitation is done in conjunction with the retail/commercial portion of the building.

Tax relief for the rehabilitation of upper floor non-subsidized, non-single family residential units, as a stand-alone project, will be eligible for tax relief for a period of 2 years.

C. The City Council may, in its discretion, add up to an additional 4 years of tax relief for the substantial rehabilitation of a qualifying structure that is listed on or determined eligible for listing on the National Register of Historic Places, state register of historic places, or is located within and important to a locally designated historic district, provided that the substantial rehabilitation is conducted in accordance with the U.S. Secretary of Interior's Standards for Rehabilitation.

Section 6 Resumption of Full Tax Liability

Upon expiration of the tax relief period, the property shall be taxed at its market value in accordance with RSA 75:1.

Section 7 Public Benefit

The proposed substantial rehabilitation must provide at least one of the following public benefits in order to qualify for tax relief under this ordinance:

A. It enhances the economic vitality of the downtown;

- B. It enhances and improves a structure that is culturally or historically important on a local, regional, state, or national level, either independently or within the context of an historic district in which the building is located; or
- C. It promotes development of compact and vibrant municipal centers, providing for efficiency, safety, and a greater sense of community, consistent with RSA 9-B.
- D. It increases non-subsidized residential housing in the Downtown Revitalization District.

Section 8 Covenant to Protect Public Benefit

- A. Tax relief for the substantial rehabilitation or replacement of a qualifying structure shall be effective only after a property owner grants to the municipality a covenant ensuring that the structure shall be maintained and used in a manner that furthers the public benefits for which the tax relief was granted and as otherwise provided in this chapter.
- B. The covenant shall be coextensive with the tax relief period. The covenant may, if required by the City Council, be effective for a period of time up to twice the duration of the tax relief period.
- C. The covenant shall include provisions requiring the property owner to obtain and maintain a certificate of occupancy for the duration of the tax relief period.
- D. The covenant shall include provisions requiring the property owner to obtain casualty insurance, and flood insurance if appropriate. The covenant may include, at the City Council's sole discretion, a lien against proceeds from casualty and flood insurance claims for the purpose of ensuring proper restoration or demolition or damaged structures and property. If the property owner has not begun the process of restoration, rebuilding, or demolition of such structure within one year following damage or destruction, the property owner shall be subject to the termination of provisions set forth in Chapter 31, Section 9.
- E. To protect public benefit, the City Council shall provide for the recording of the covenant with the registry of deeds. It shall be a burden upon the property and shall bind all transferees and assignees of such property.
- F. The applicant shall pay any reasonable expenses incurred by the municipality in the drafting, review, and/or execution of the covenant. The applicant also shall be responsible for the cost of recording the covenant.

Section 9 Termination of Covenant; Reduction of Tax Relief; Penalty

- A. If the owner fails to maintain or utilize the building according to the terms of the covenant, or fails to restore, rebuild, or demolish the structure following damage or destruction as provided in Chapter 31, Section 8 D, the City Council shall, after a duly noticed public hearing, determine whether and to what extent the public benefit of the rehabilitation or replacement has been diminished and shall determine whether to terminate or reduce the tax relief period in accordance with such determination. If the covenant is terminated, the City Council shall assess all taxes to the owner as though no tax relief was granted, with interest in accordance with paragraph B.
- B. Any tax payment required under paragraph A shall be payable according to the following procedure:

1. The commissioner of the department of revenue administration shall prescribe and issue forms to the local assessing officials for the payment due, which shall provide a description of the property, the market value assessment according to RSA 75:1, and the amount payable.
2. The prescribed form shall be prepared in quadruplicate. The original, duplicate, and triplicate copy of the form shall be given to the collector of taxes for collection of the payment along with a special tax warrant authorizing the collector to collect the payment under the warrant. The quadruplicate copy of the form shall be retained by the local assessing officials for their records.
3. Upon receipt of the special tax warrant and prescribed forms, the tax collector shall mail the duplicate copy of the tax bill to the owner responsible for the tax as the notice of payment.
4. Payment shall be due not later than 30 days after the mailing of the bill. Interest at the rate of 18 percent per annum shall be due thereafter on any amount not paid within the 30-day period. Interest at 12 percent per annum shall be charged upon all taxes that would have been due and payable on or before December 1 of each tax year as if no tax relief had been granted.

Section 10 Lien for Unpaid Taxes

The real estate of every person shall be held for the taxes levied pursuant to RSA 79-E:9.

Section 11 Enforcement

All taxes levied pursuant to RSA 79-E:9 which are not paid when due shall be collected in the same manner as provided in RSA 80.

Section 12 Rulemaking

The City of Somersworth will abide by any rules the commissioner of the department of revenue administration adopts, pursuant to RSA 541-A, relative to the payment and collection procedures under RSA 79-E:9.

Section 13 Extent of Tax Relief

- A. Tax relief granted under this ordinance shall pertain only to assessment increases attributable to the substantial rehabilitation performed under the conditions approved by the City Council and not to those increases attributable to other factors including but not limited to market forces; or
- B. Tax relief granted under this ordinance shall be calculated on the value in excess of the original assessed value. Original assessed value shall mean the value of the qualifying structure assessed at the time the City Council approves the application for tax relief and the owner grants to the municipality the covenant to protect public benefit as required in

approval of the application for tax relief of the qualifying structure that would have existed had the structure not been destroyed; or

- C. The tax relief granted under this chapter shall only apply to substantial rehabilitation or replacement that commences after the City Council approves the application for tax relief and the owner grants to the City Council the covenant to protect the public benefit as required in this chapter, provided that in the case of a qualifying structure which is a building destroyed by fire or act of nature, and which occurred within 15 years prior to the adoption of the provisions of this chapter by the City council, the tax relief may apply to such qualifying structure for which replacement has begun, but which has not been completed, on the date the application for relief under this chapter is approved.

Section 14 Other Programs

The provisions of this ordinance shall not apply to properties whose rehabilitation or construction is subsidized by state or federal grants or funds that do not need to be repaid totaling more than 50 percent of construction costs from state or federal programs.

Section 15 Reserved

This ordinance shall take effect upon its passage.

Passed 2/19/2013.

SAMPLE

CITY OF SOMERSWORTH, NH
COVENANT TO PROTECT PUBLIC BENEFIT

Per RSA 79-E:8 (Community Revitalization Tax Relief Incentive)

335-337 Main Street LLC with a mailing address of 98 Fairview Ave. Portsmouth, NH 03801-3563 (hereafter referred to, collectively, if appropriate, as "GRANTOR") owner(s) of property situate at 67-73 High Street, Somersworth, NH (hereinafter referred to as the "PROPERTY"), for itself and for its successors an assigns, for consideration of tax relief granted to GRANTOR by GRANTEE pursuant to the provisions of RSA 79-E, agree to the following Covenants imposed by the City of Somersworth, (hereinafter referred to as "GRANTEE"), One Government Way, Somersworth, County of Strafford, State of New Hampshire.

These Covenants are made in exchange for property tax relief granted with respect to the PROPERTY as a result of the substantial rehabilitation of the PROPERTY to be accomplished by the GRANTOR in accordance with GRANTOR'S proposal (specific approved scope of work is shown in the "COMMUNITY TAX RELIEF INCENTIVE APPLICATION" dated _____ and submitted by the GRANTOR) approved by GRANTEE on _____.

This Covenant is to protect the public benefit in accordance with the provisions of RSA 79-E for a term of seven years (5 years for the substantial rehabilitation of the property plus 2 years for creating a new non-subsidized residential unit), beginning on _____ of the first tax year commencing immediately after the completion of the rehabilitation work. Notwithstanding the foregoing, the contemplated tax relief shall be null and void if the proposed rehabilitation work is not completed by _____.

The PROPERTY is designated GRANTEE'S Tax Map 11, Lot 63 in the City of Somersworth. For further reference to GRANTOR'S title see deed recorded at Book 4196, Page 0721, Strafford County Registry of Deeds.

The GRANTEE agrees that the PROPERTY, if substantially rehabilitated in accordance with GRANTOR'S proposal approved GRANTEE on _____ provides a demonstrated public benefit in accordance with the provisions of RSA 79-E:7 inasmuch as the substantial rehabilitation of said property:

1. Enhances the economic vitality of downtown; and
2. Promotes development of municipal centers, providing for efficiency, safety and a greater sense of community consistent with RSA 9-B.
3. Creates a new, non-subsidized residential unit.

The terms of the Covenant which is hereby granted by the GRANTOR to the GRANTEE with respect to the above described PROPERTY are to be co-extensive with the tax relief period are as follows:

GRANTOR'S COVENANTS:

REHABILITATION OF PROPERTY. The Grantor agrees to substantially rehabilitate the PROPERTY during the term of this Agreement in accordance with the GRANTOR'S proposal approved by GRANTEE on _____. The substantial rehabilitation contemplated by GRANTOR'S proposal approved by GRANTEE on _____ shall be completed by the GRANTOR on or before _____. All of the work on the attached scope of work must be completed in order for the tax relief to take effect. If only some of the work on the attached scope of work is completed prior to _____, then the PROPERTY shall be fully assessed for the value of that work during the tax years(s) commencing_____.

MAINTENANCE OF THE PROPERTY. The GRANTOR agrees to maintain, use and keep the structure in a condition that furthers the public benefits for which the tax relief was granted and accepted during the term of the tax relief under RSA 79-E.

REQUIRED INSURANCE, USE OF INSURANCE PROCEEDS, AND TIMEFRAME TO REPLACE OR REMOVE DAMAGED PROPERTY. The GRANTOR agrees and is required to obtain and maintain casualty insurance, as well as flood insurance, if appropriate. The GRANTEE requires a lien against proceeds for any insurance claims to ensure proper restoration or demolition of any damaged structures and property. The GRANTEE further requires that the restoration or demolition commence within one year following any insurance claim incident; otherwise the GRANTOR shall be subject to the termination provisions set forth in RSA 79-E:9, I.

RECORDING. The GRANTEE agrees to and shall provide for the recording of this covenant with the Strafford County Registry of Deeds. It shall be a burden upon the PROPERTY and bind all transferees and assignees of such PROPERTY. The GRANTOR will be solely responsible for payment of the recording fees.

ASSESSMENT OF THE PROPERTY. The GRANTEE agrees that the PROPERTY shall be assessed during the term of the Tax Relief Granted based on the value of the property and all such improvements in place as of _____ or such other value utilized by the Assessor to address improvements not covered by RSA 79-E. If terms of these covenants are not met, the Property Tax Relief will be discontinued. Furthermore, the GRANTEE will assess all taxes to the owner as though no tax relief was granted, with interest in accordance with RSA 79-E:9, II.

EXPIRATION, CONSIDERATION.

- I. **EXPIRATION.** Upon final expiration of the terms of the tax relief and associated covenants the tax assessment will convert to the then full fair market value and those covenants will be concluded.
- II. **CONSIDERATION.** The Tax Collector shall issue a summary receipt to the owner of such PROPERTY and a copy of the governing body of the City of Somersworth for the sums of tax relief accorded during the term of this Agreement. The local governing body shall, upon receiving a copy of the above-mentioned consideration, execute a release of the Covenant to

the GRANTOR who shall record such a release with the Strafford County Registry of Deeds. A copy of such release or renewal shall also be sent to the local assessing official.

- III. **MAINTENANCE OF STRUCTURE.** If, during the term of the tax relief, the GRANTOR shall fail to maintain the structure in conformity with the foregoing agreement, or shall cause the structure (s) to significantly deteriorate or be demolished or removed, the covenants shall be terminated and a penalty shall be assessed in accordance with RSA 79-E:9.

ENFORCEMENT. If a breach of this Covenant is brought to the attention of the GRANTEE, the GRANTEE shall notify the GRANTOR, in writing of such breach, which notification shall be delivered in hand or by certified mail, return receipt requested to the GRANTOR.

The GRANTOR shall have 30 days after receipt of such notice to undertake those actions, including restorations, which are reasonably calculated to cure the said breach and to notify the GRANTEE thereof.

If the GRANTOR fails to take such curative action, the GRANTEE may undertake any actions that are reasonably necessary to cure such breach, and the cost thereof, including GRANTEE'S expenses, court costs and legal fees, shall be paid by the GRANTOR, provided the said GRANTOR is determined to be directly or indirectly responsible for the breach.

The GRANTOR, by accepting and recording this Covenant to the GRANTOR agrees to be bound by and to observe and enforce the provisions hereof and assumes the rights and responsibilities herein provided for and incumbent upon the GRANTEE, all in furtherance of the purpose for which this Tax Relief and associated Covenant is delivered.



Somersworth

NEW HAMPSHIRE



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City of Somersworth

One Government Way

Somersworth, NH 03878

(603) 692-4262

City Hall Hours

Monday - Friday 8:00 am to 4:30 pm

Wednesday 8:00 am to 6:00 pm

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City of Somersworth

Fire Department

195 Maple Street – Somersworth, NH 03878-1594



Keith E. Hoyle
Fire Chief & Emergency Management Director
khoyle@somersworth.com

Business: (603) 692-3457
Fax: (603) 692-5147
www.somersworth.com

FIRE DEPARTMENT OPEN HOUSE

SATURDAY OCTOBER 13

10AM – 2PM

Open to the public.

Will have demonstration tables sponsored by:

- Somersworth Fire Department
- Somersworth Police Department
- Somersworth DPW
- Somersworth Development Services Office
- American Ambulance Inc.
- Wentworth Douglas Hospital
- NH Division of Forests and Lands
- “Smokey the Bear”
- “Ready” the Emergency Preparedness Dog

Will have tours of:

- Fire Department apparatus
- Ambulance
- Police cruiser
- DPW dump truck

Will have demonstrations of:

- Fire extinguisher usage
- Fire Safety House
- Blood pressure clinic

Will have refreshments